

H3. Residential – Single House Zone

H3.1. Zone description

The Residential – Single House Zone is applied to identified sites within residential neighbourhoods that necessitate a lower intensity of development and to serviced rural settlements.

The purpose of the Residential – Single House Zone is to manage development to the extent necessary to:

- provide for low density residential activities and buildings consistent with a suburban scale and subdivision pattern, including in certain precincts and residential areas in settlements outside the urban area;
- protect significant ecological areas and areas of high natural character;
- protect areas of distinct cultural, historic and natural heritage;
- prevent development intensifying in areas that are known to be exposed to coastal and flood hazards;
- manage development to ensure that it can be adequately serviced by the water supply, wastewater and stormwater networks; and
- maintain and enhance the amenity values of special character residential areas and coastal edges.

~~The purpose of the Residential – Single House Zone is to maintain and enhance the amenity values of established residential neighbourhoods in number of locations. The particular amenity values of a neighbourhood may be based on special character informed by the past, spacious sites with some large trees, a coastal setting or other factors such as established neighbourhood character. To provide choice for future residents, Residential – Single House Zone zoning may also be applied in greenfield developments.~~

To support the purpose of the zone, multi-unit development is not anticipated, with additional housing limited to the conversion of an existing dwelling into two dwellings and minor dwelling units. The zone is generally characterised by one to two storey high buildings consistent with a suburban built character. A limited range of non-residential activities are provided for within the Single House Zone in a manner that is anticipated to be compatible with the scale and intensity of development anticipated by the zone.

H3.2. Objectives

- (1) ~~[Deleted] Development maintains and is in keeping with the amenity values of established residential neighbourhoods including those based on special character informed by the past, spacious sites with some large trees, a coastal setting or other factors such as established neighbourhood character.~~
- (1A) Development maintains and is in keeping with the identified values within the area and its low intensity residential development relative to development enabled in some other residential zones in urban Auckland; being limited to predominantly one or two storey buildings.

- (2) Development is in keeping with the neighbourhood's existing or planned suburban built character of predominantly one to two storeys buildings.
- (3) ~~[Deleted] Development provides quality on-site residential amenity for residents and for adjoining sites and the street.~~
- (3A) Development provides high quality amenity:
 - (a) on-site for residents
 - (b) to adjoining sites; and
 - (c) to the street.
- (4) ~~Non-residential~~ A limited range of non-residential activities provide for the community's social, economic and cultural well-being, while being in-keeping being compatible with the scale and intensity of development anticipated by the zone so as to contribute to the amenity of the neighbourhood.
- (5) Development does not adversely affect the values of adjoining water bodies including riparian, lakeside and coastal protection areas; nor increases natural hazard risks.
- (6) Development maintains and is in keeping with the amenity values of established residential neighbourhoods including those based on special character values or areas with a coastal edge.
- (7) Development provides for the protection of, and enhances, the values of scheduled sites or places of significance and the relationship of Mana Whenua with their taonga, commensurate with the scale of the proposal.
- (8) Development provides for the protection and management of significant ecological areas; areas of outstanding and high natural character; and historic heritage.
- (9) Development, including redevelopment, only occurs when the risk from natural hazards to people, property, infrastructure and the environment is tolerable or acceptable in the short to long term.
- (10) Development is enabled where it can be adequately serviced by the water supply, wastewater and stormwater networks to avoid adverse effects on the function and capacity of the networks.

H3.3. Policies

- (1) Require an intensity of development that is compatible with either the existing suburban built character where this is to be maintained or the planned suburban built character of predominantly one to two storey dwellings.
- (2) Require development to:

- (a) be of a height, bulk and form that maintains and is in keeping with the character and amenity values of the established residential neighbourhood; or
 - (b) be of a height and bulk and have sufficient setbacks and landscaped areas to maintain an existing suburban built character or achieve the planned suburban built character of predominantly one to two storey dwellings within a generally spacious setting.
- (3) Encourage development to achieve attractive and safe streets and public open spaces including by:
 - (a) providing for passive surveillance
 - (b) optimising front yard landscaping
 - (c) minimising visual dominance of garage doors.
- (4) Require the height, bulk and location of development to maintain a reasonable level of sunlight access and privacy and to minimise visual dominance effects to the adjoining sites.
- (5) Encourage ~~accommodation~~ residential activities to have useable and accessible outdoor living space.
- (6) Restrict the maximum impervious area on a site in order to manage the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated.
- (7) Provide for limited non-residential activities that:
 - (a) support the social and economic well-being of the community;
 - (b) are in keeping with the scale and intensity of development anticipated within the zone;
 - (c) avoid, remedy or mitigate adverse effects on residential amenity; and
 - (d) will not detract from the vitality of the Business – City Centre Zone, Business – Metro Centre Zone and the Business – Town Centre Zone.
- (8) To provide for integrated residential development on larger sites.
- (9) Require development to maintain and be in keeping with the neighbourhoods' identified values including special character.
- (10) Require buildings to be setback from water bodies to maintain and protect environmental, open space, amenity values of riparian margins of lakes, streams and coastal areas and water quality and to provide protection from natural hazards.

- (11) Restrict development in high hazard areas, and manage development in medium or low hazard areas to ensure natural hazard risk is tolerable or acceptable.
- (12) Require development to protect and enhance the values of scheduled sites or places of significance to Mana Whenua and the relationship of Mana Whenua with their taonga, commensurate with the scale of the proposal.
- (13) Require development in areas identified on the planning maps as subject to stormwater infrastructure constraints to be provided with appropriate infrastructure.
- (14) Require development to remedy or mitigate adverse effects which may compromise the function and capacity of the water supply network.
- (15) Require development on sites connected to the combined wastewater network as identified on the planning maps to demonstrate that there is sufficient capacity available in the combined wastewater network to enable servicing of the development without adverse effects which may compromise the function and capacity of the water supply network able to be managed.

H3.4. Activity table

Table H3.4.1 Activity table specifies the activity status of land use and development activities in the Residential – Single House Zone pursuant to section 9(3) of the Resource Management Act 1991.

The purpose of land use activities H3.4.1 (A3), (A5), (A6), (A9), (A11), (A13), (A15), (A22), (A23) in the Residential – Single House Zone includes restricting development in high hazard areas and managing development in medium or low hazard areas to ensure natural hazard risk is tolerable or acceptable.

Table H3.4.1 Activity table

Activity		Activity status	Standards to be complied with
Use			
(A1)	Activities not provided for	NC	
Residential			
(A2)	Camping grounds	D	
(A3)	One dwelling per site	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11

H3 Residential – Single House Zone

Immediate legal
effect under
s86B(3)(f) RMA

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			Landscaped area; Standard H3.6.12 Front, side and rear fences and walls
(A4)	The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.3 Conversion of a principal dwelling into a maximum of two dwellings
(A5)	Minor dwellings	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.4 Minor dwellings; Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls
(A6)	More than one dwelling per site (other than the conversion of a principal dwelling in Rule H3.4.1(A4) or minor dwellings in Rule a H3.4.1(A5))	NC	
(A7)	Home occupations	P	Standard H3.6.2 Home occupations
(A8)	Home occupations that do not meet Standard H3.6.2	D	
(A9)	Integrated Residential Development	D	
(A10)	Supported residential care accommodating up to 10 people per site inclusive of staff and residents	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls

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(A11)	Supported residential care accommodating greater than 10 people per site inclusive of staff and residents	D	
(A12)	Boarding houses accommodating up to 10 people per site inclusive of staff and residents	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls
(A13)	Boarding houses accommodating greater than 10 people per site inclusive of staff and residents	D	
(A14)	Visitor accommodation accommodating up to 10 people per site inclusive of staff and visitors	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls
(A15)	Visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors	D	
Commerce			
(A16)	Dairies up to 100m ² gross floor area per site	RD	Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; and Standard H3.6.12 Front, side and rear fences and walls

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(A17)	Restaurants and cafes up to 100m ² gross floor area per site	D	
(A18)	Service stations on arterial roads	D	
(A19)	Offices within the Centre Fringe Office Control as identified on the planning maps	P	Standard H3.6.5 Offices within the Centre Fringe Office Control
(A20)	Offices within the Centre Fringe Office Control as identified on the planning maps that do not comply with Standard H3.6.5	D	
Community			
(A21)	Care centres accommodating up to 10 people per site excluding staff	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; and Standard H3.6.12 Front, side and rear fences and walls
(A22)	Care centres accommodating greater than 10 people per site excluding staff	D	
(A23)	Community facilities	D	
(A24)	Education facilities	D	
(A25)	Tertiary education facilities	D	
(A26)	Emergency services adjoining an arterial road	D	
(A27)	Healthcare facilities up to 200m ² gross floor area per site	RD	Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; and Standard H3.6.12 Front, side and rear fences and walls
(A28)	Healthcare facilities greater than 200m ² gross floor area per site	NC	

Immediate legal effect under s86B(3)(f) RMA

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(A29)	Veterinary clinics	D	
Rural			
(A30)	Grazing of livestock on sites greater than 2,000m ² net site area	P	
Mana Whenua			
(A31)	Marae	D	
Development			
(A32)	Demolition of buildings	P	
(A33)	Internal and external alterations to buildings	P	Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls
(A34)	Accessory buildings	P	Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage
(A35)	Additions to an existing dwelling	P	<u>Standard H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control</u> , Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls
(A36)	New buildings and additions to buildings	The same activity status and standards as applies to the land use activity that the new building or addition to a building is designed to accommodate	
(A37)	Rainwater Tank	P	Standard H3.6.13 Rainwater tanks
(A38)	<u>Development in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that</u>	<u>RD</u>	

Qualifying matter as per Sch 3C, cls 8(1)(b) of the RMA

Qualifying matter
as per Sch 3C, cls
8(1)(b) of the RMA

	<u>comply with other standards but do not comply with H3.6.-3A.</u>		
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H3.5. Notification

- (1) Any application for resource consent for the following activities will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991:

(a) [deleted]

(b) development which does not comply with H3.6.12 (1)(a) Front, side and rear fences and walls.

- (2) Any application for resource consent for an activity listed in Table H3.4.1 Activity table and which is not listed in H3.5(1) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.

- (3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in Rule [C1.13\(4\)](#).

H3.6. Standards

H3.6.1. Activities listed in Table H3.4.1 Activity table

- (1) Activities and buildings containing activities listed in Table H3.4.1 Activity table must comply with the standards listed in the column in Table H3.4.1 Activity table called Standards to be complied with.

H3.6.2. Home occupations

Purpose: to enable people to work from home at a scale that the residential character and amenity is maintained.

- (1) A home occupation must comply with all the following standards:
- (a) at least one person engaged in the home occupation must use the dwelling on the site as their principal place of residence;
 - (b) no more than two people who do not use the dwelling as their principal place of residence may work in the home occupation;
 - (c) no more than four people in total may work in the home occupation;

- (d) the sale of goods or services from the home occupation that requires customers to come to the site and the delivery of goods to and from the site may not occur before 7am or after 7pm;
- (e) car trips to and from the home occupation activity must not exceed 20 per day;
- (f) heavy vehicle trips must not exceed two per week;
- (g) no more than one commercial vehicle associated with the home occupation may be on site at any one time;
- (h) storage for rubbish and recycling associated with the home occupation must be provided on site and screened from public view;
- (i) materials or goods manufactured, serviced or repaired in the home occupation must be stored and worked on within a building on the same site; and
- (j) goods sold from the home occupation must be:
 - (i) goods produced on site; or
 - (ii) goods that are primarily ordered by mail or electronic transaction and redistributed by post or courier; or
 - (iii) goods ancillary and related to a service provided by the home occupation.

H3.6.3. The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings

Purpose: to enable a dwelling existing as at 30 September 2013 to be converted into a maximum of two dwellings and to provide for sufficient outdoor living space for each of the dwellings.

- (1) Where a dwelling existing as at 30 September 2013 is proposed to be converted into a maximum of two dwellings each dwelling must have an outdoor living space that is:
 - (a) at least 5m² for a studio or one-bedroom dwelling and 8m² for a two or more bedroom dwelling; and
 - (b) at least 1.8m in depth; and
 - (c) directly accessible from the dwelling.

H3.6.3A. Development within the Infrastructure – Combined Wastewater Network Control

Purpose: to restrict development in any area served by a Combined Wastewater Network where public sewer separation has not occurred while enabling new development where separation is in progress and the new development can connect to a separated local stormwater pipe that is part of the public stormwater network.

- (1) Development on a site served by the combined wastewater network must be able to connect to an existing separated local stormwater pipe that is part of the public stormwater network; and
- (2) The wastewater network service provider has confirmed that there is sufficient capacity available in the combined wastewater network to service the proposed development.

H3.6.4. Minor dwellings

Purpose:

- to provide accommodation that is limited in size and secondary to the principal dwelling on a site;
 - to ensure that sufficient outdoor living space is provided for the minor dwelling;
 - to ensure there is no more than one minor dwelling on each site.
- (1) A minor dwelling must not exceed a floor area of 65m² excluding decks and garaging.
 - (2) A minor dwelling must have an outdoor living space that is:
 - (a) at least 5m² for a studio or one-bedroom dwelling and 8m² for a two or more bedroom dwelling; and
 - (b) least 1.8m in depth; and
 - (c) directly accessible from the minor dwelling.

- (3) There must be no more than one minor dwelling per site.

H3.6.5. Offices within the Centre Fringe Office Control as identified on the planning maps

- (1) Offices must be located in existing buildings.

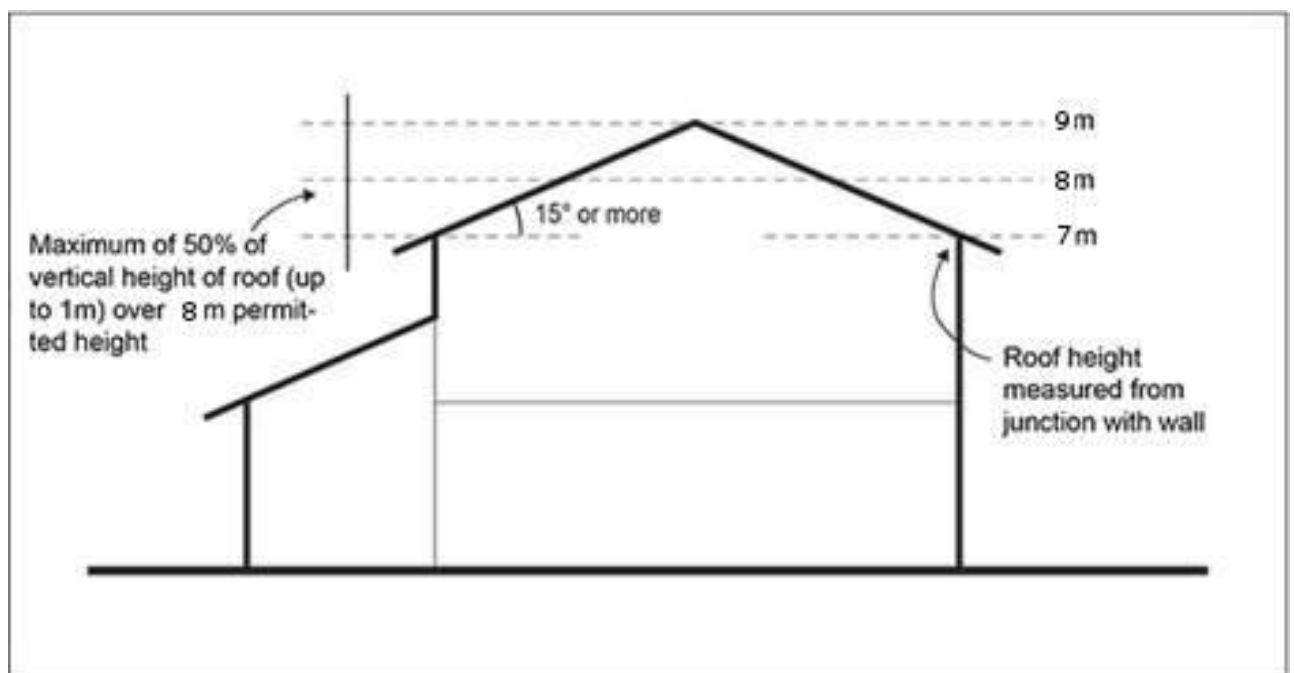
H3.6.6. Building height

Purpose: to manage the height of buildings to:

- Achieve the planned suburban built character of predominantly one to two storeys;

- minimise visual dominance effects;
 - maintain a reasonable standard of residential amenity for adjoining sites; and
 - provide some flexibility to enable variety in roof forms.
- (1) Buildings must not exceed 8m in height except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more, as shown in Figure H3.6.6.1 Building height in the Residential – Single House Zone below.

Figure H3.6.6.1 Building height in the Residential – Single House Zone

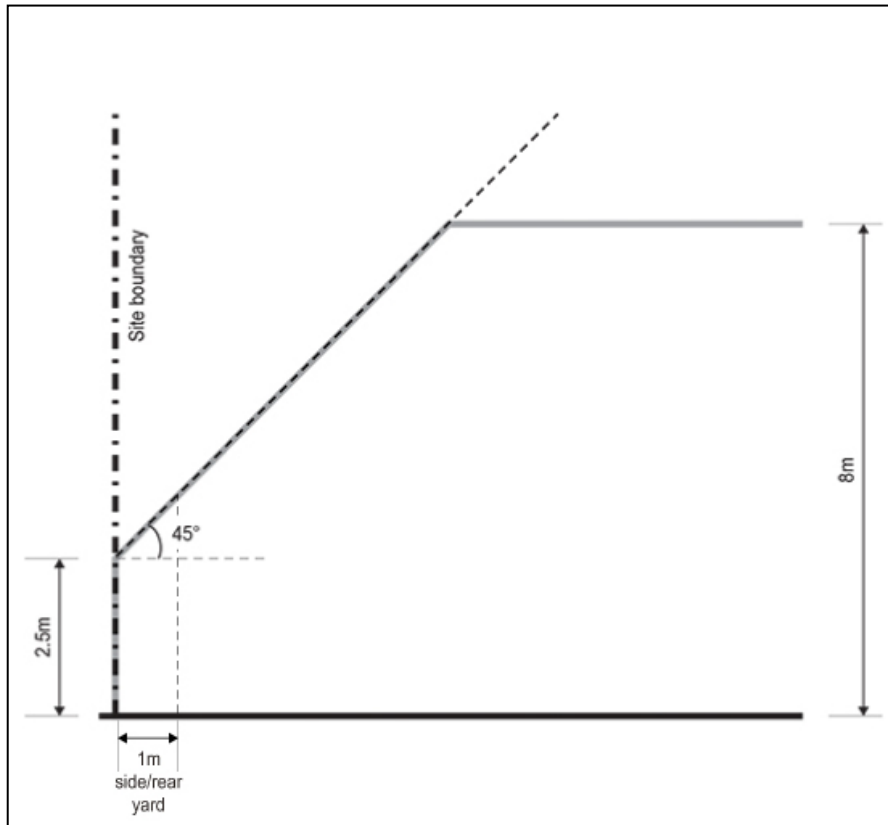


H3.6.7. Height in relation to boundary

Purpose: to manage the height and bulk of buildings at boundaries to maintain a reasonable level of sunlight access and minimise adverse visual dominance effects to immediate neighbours.

- (1) Buildings must not project beyond a 45-degree recession plane measured from a point 2.5m vertically above ground level along side and rear boundaries, as shown in Figure H3.6.7.1 Height in relation to boundary below.

Figure H3.6.7.1 Height in relation to boundary

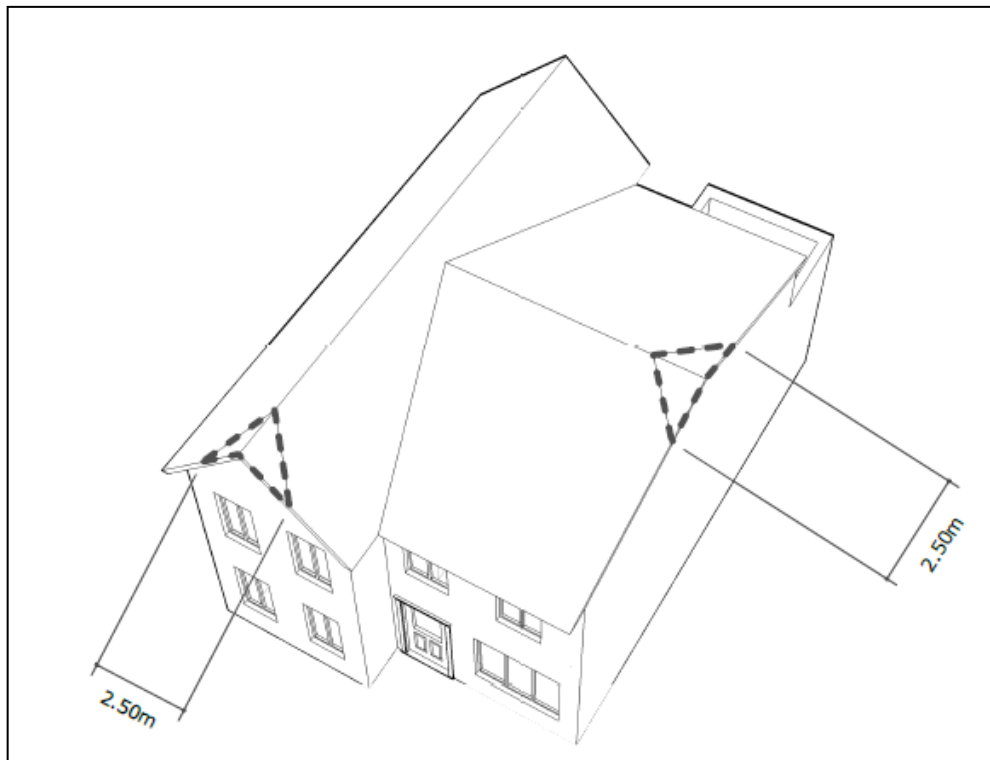


(2) Standard H3.6.7(1) above does not apply to a boundary, or part of a boundary, adjoining any of the following:

- (a) a Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business - Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone.
- (b) sites within the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space - Community Zone:
 - (i) that are greater than 2000m²;
 - (ii) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and
 - (iii) where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.

- (3) Standard H3.6.7(1) above does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.
- (4) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, control in Standard H3.6.7(1) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.
- (5) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
- (a) no greater than 1.5m² in area and no greater than 1m in height; and
 - (b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H3.6.7.2 Exceptions for gable ends and dormers and roof projections below .

Figure H3.6.7.2: Exceptions for gable ends and dormers and roof projections



- (6) No more than two gable ends, dormers or roof projections are allowed for every 6m length of site boundary.

H3.6.8. Yards

Purpose:

- to maintain the suburban built character of the streetscape and provide sufficient space for landscaping within the front yard;

- to maintain a reasonable standard of residential amenity for adjoining sites;
 - to ensure buildings are adequately set back from lakes, streams and the coastal edge to maintain water quality and provide protection from natural hazards; and
 - to enable buildings and services on the site or adjoining sites to be adequately maintained.
- (1) A building or parts of a building must be set back from the relevant boundary by the minimum depth listed in Table H3.6.8.1 Yards below.

Table H3.6.8.1 Yards

Yard	Minimum depth
Front	3m
Side	1m
Rear	1m
Riparian	10m from the edge of all other permanent and intermittent streams
Lakeside	30m
Coastal protection yard	10m, or as otherwise specified in Appendix 6 Coastal protection yard

- (2) Standard H3.6.8.1 above does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.

H3.6.9. Maximum impervious area

Purpose:

- to manage the amount of stormwater runoff generated by a development, particularly in relation to the capacity of the stormwater network and potential flood risks;
 - to support the functioning of riparian yards, lakeside yards and coastal protection yards and water quality and ecology;
 - to reinforce the building coverage and landscaped area standards; and
 - to limit paved areas on a site to improve the site's appearance and cumulatively maintain amenity values in a neighbourhood.
- (1) The maximum impervious area must not exceed 60 per cent of site area.
- (2) The maximum impervious area within a riparian yard, a lakeside yard or a coastal protection yard must not exceed 10 per cent of the riparian yard, lakeside yard or coastal protection yard area.

H3.6.10. Building coverage

Purpose: to manage the extent of buildings on a site to achieve the planned suburban built character of buildings.

- (1) The maximum building coverage must not exceed 35 per cent of net site area.

H3.6.11. Landscaped area

Purpose:

- to provide for quality living environments consistent with the planned suburban built character of buildings;
- to maintain the landscaped character of the streetscape within the zone.

- (1) The minimum landscaped area must be at least 40 per cent of the net site area.

- (2) At least 50 per cent of the area of the front yard must comprise landscaped area.

H3.6.12. Front, side and rear fences and walls

Purpose: to enable fences and walls to be constructed on a front, side or rear boundary or within a front, side, rear, riparian, coastal protection or lakeside yard to a height sufficient to:

- provide privacy for dwellings while enabling opportunities for passive surveillance of the street or adjoining public place
- minimise visual dominance effects to immediate neighbours, the street or adjoining public place.

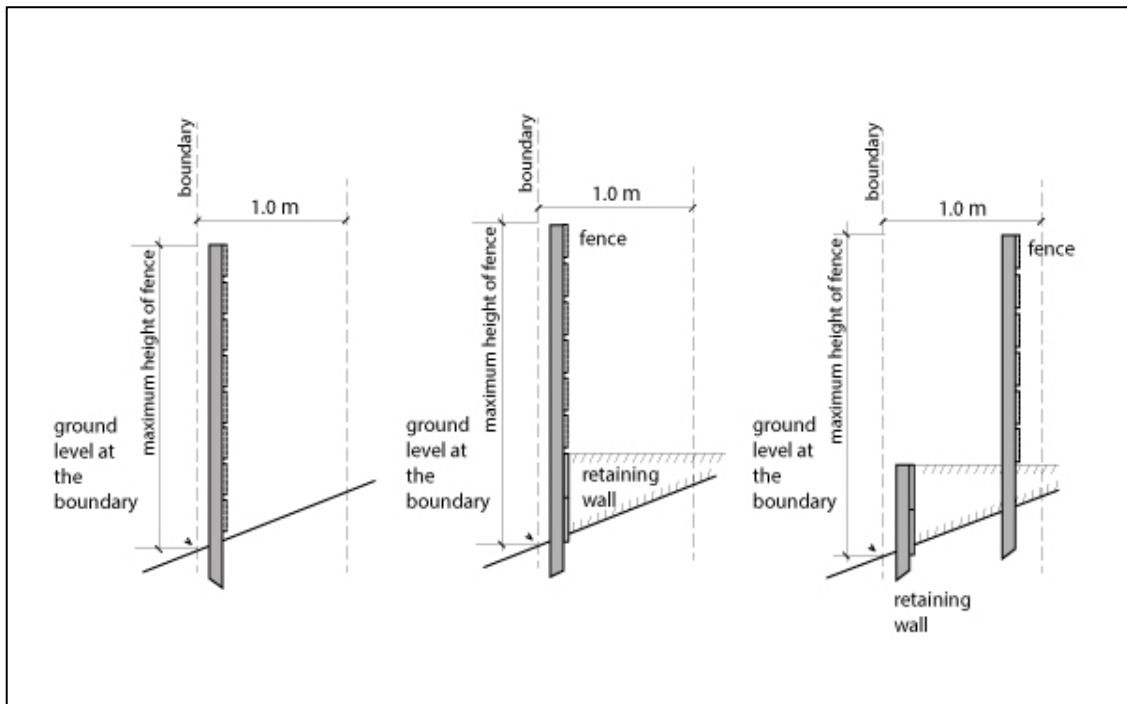
- (1) Fences or walls or a combination of these structures (whether separate or joined together) must not exceed the height specified below, measured from the ground level at the boundary:

- (a) Within the front yard, either:

- (i) 1.4m in height, or
- (ii) 1.8m in height for no more than 50 per cent of the site frontage and 1.4m for the remainder, or
- (iii) 1.8m in height if the fence is at least 50 per cent visually open as viewed perpendicular to the front boundary.

- (b) Within side, rear, coastal protection, lakeside or riparian yards: 2m.

Figure H.3.6.12.1 Measurement of fence height



H3.6.13. Rainwater tanks

Purpose: To enable rainwater tank installation while maintaining amenity values

- (1) Rainwater tanks must not be located in a:
 - (a) riparian, lakeside or coastal protection yard unless they are less than 1m in height, or wholly below ground level;
 - (b) front yard, unless they are at least 1.5m from the front boundary and are a maximum height of 1 m.
- (2) Rainwater tanks (excluding any pipework) must not exceed 3 m in height in a rear or side yard.
- (3) Any overflow from the rainwater tank must discharge to the existing authorised stormwater system for the site.

Note: If there is a new stormwater discharge or diversion created Chapter E8.6.2.1 and Building Act requirements must be complied with.

Note: Building Act regulations apply. A building consent may be required under the Building Act.

H3.7. Assessment – controlled activities

There are no controlled activities in this zone.

H3.8. Assessment – restricted discretionary activities

H3.8.1. Matters of discretion

The Council will restrict its discretion to all of the following matters when assessing a restricted discretionary activity resource consent application:

- (1) for dairies up to 100m² gross floor area per site; and healthcare facilities up to 200m² gross floor area per site:
 - (a) the effects on the neighbourhood character, residential amenity and the surrounding residential area from all of the following:
 - (i) building intensity, scale, location, form and appearance;
 - (ii) traffic;
 - (iii) location and design of parking and access; and
 - (iv) noise, lighting and hours of operation.
- (2) for buildings that do not comply with Standard H3.6.6 Building height; Standard H3.6.7 Height in relation to boundary; Standard H3.6.8 Yards; Standard H3.6.9 Maximum impervious areas; Standard H3.6.10 Building coverage; Standard H3.6.11 Landscaped area; Standard H3.6.12 Front, side and rear fences and walls:
 - (a) any policy which is relevant to the standard;
 - (b) the purpose of the standard;
 - (c) the effects of the infringement of the standard;
 - (d) the effects on the suburban built character of the zone;
 - (e) the effects on the amenity of neighbouring sites;
 - (f) the effects of any special or unusual characteristic of the site which is relevant to the standard;
 - (g) the characteristics of the development;
 - (h) any other matters specifically listed for the standard; and
 - (i) where more than one standard will be infringed, the effects of all infringements.
- (3) For developments in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that does not comply with H3.6.3A.
 - (a) the effect of the development on the function and capacity of the Combined Wastewater Network; and

(b) the effect on the environment from the lack of available capacity.

H3.8.2. Assessment criteria

The Council will consider the relevant assessment criteria below for restricted discretionary activities:

(1) for dairies up to 100m² gross floor area per site; and healthcare facilities up to 200m² gross floor area per site:

(a) building intensity, scale, location, form and appearance:

- (i) whether the intensity and scale of the activity, the building location, form and appearance is compatible with the character and residential amenity provided for within the zone and compatible with the surrounding residential area.

(b) traffic:

- (i) whether the activity avoids or mitigates high levels of additional non-residential traffic on local roads.

(c) location and design of parking and access:

- (i) whether adequate access is provided or required.

(d) noise, lighting and hours of operation:

- (i) whether noise and lighting and the hours of operation of the activity avoids, remedies or mitigates adverse effects on the residential amenity of surrounding properties, by:
 - locating noisy activities away from neighbouring residential boundaries; and
 - screening or other design features; and
 - controlling the hours of operation and operational measures.

(2) for building height:

(a) refer to Policy H3.3(1);

(b) refer to Policy H3.3(2); and

(c) refer to Policy H3.3(4).

(3) for height in relation to boundary:

(a) refer to Policy H3.3(1);

(b) refer to Policy H3.3(2); and

(c) refer to Policy H3.3(4).

(4) for yards:

- (a) refer to Policy H3.3(1);
- (b) refer to Policy H3.3(2);
- (c) refer to Policy H3.3(4); ~~and~~
- (d) refer to Policy H3.3(5); ~~and~~
- (e) refer to Policy H3.3(10).

(5) for maximum impervious areas:

- (a) refer to Policy H3.3(6).

(6) for building coverage:

- (a) refer to Policy H3.3(1);
- (b) refer to Policy H3.3(2); and
- (c) refer to Policy H3.3(4).

(7) for landscaped area:

- (a) refer to Policy H3.3(1);
- (b) refer to Policy H3.3(2); and
- (c) refer to Policy H3.3(4).

(8) for front, side and rear fences and walls:

- (a) refer to Policy H3.3(1);
- (b) refer to Policy H3.3(2);
- (c) refer to Policy H3.3(3); and
- (d) refer to Policy H3.3(4).

(9) for developments in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that does not comply with H3.6.3A:

- (a) whether servicing the development will have an adverse effect on the function and available capacity of the Combined Wastewater Network that the development will connect to; and
- (b) whether servicing the development will have an adverse effect on the environment, such as the potential increase in frequency and volume of any wastewater overflows.

H3.9. Special information requirements

There are no special information requirements in this zone.

H4. Residential – Mixed Housing Suburban Zone

H4.1. Zone description

The Residential – Mixed Housing Suburban Zone is applied to areas with lower levels of access by public transport and are not within walking distance to centres, community amenities, social facilities and open space. This ~~the most widespread residential zone covering many~~ is predominantly located in confined areas of established suburbs and some greenfields areas. Much of the existing development in the zone is characterised by one or two storey, mainly standalone buildings, set back from site boundaries with landscaped gardens.

The zone enables intensification, while retaining a suburban built character.

Development within the zone will generally be two storey detached and attached housing in a variety of types and sizes to provide housing choice. The height of permitted buildings is the main difference between this zone and the Residential – Mixed Housing Urban Zone which generally provides for three storey predominately attached dwellings.

Up to three dwellings are permitted as of right subject to compliance with the standards. This is to ensure a quality outcome for adjoining sites and the neighbourhood, as well as residents within the development site.

Resource consent is required for four or more dwellings and for other specified buildings in order to:

- achieve the planned suburban built character of the zone;
- achieve attractive and safe streets and public open spaces;
- manage the effects of development on neighbouring sites, including visual amenity, privacy and access to daylight and sunlight; ~~and~~

All residential development must comply with development standards to achieve high good quality on-site living liveable environments that are attractive, healthy and safe; meet the functional and operational needs of residents and emergency responders; and that contribute to climate resilience. Risks from natural hazards are not increased.

The resource consent requirements enable the design and layout of the development to be assessed; recognising that the need to achieve a quality design is increasingly important as the scale of development increases.

H4.2. Objectives

(A1) Land that is located in urban areas with lower levels of access by public transport and is not within walking distance to centres, community amenities, social facilities and open space is efficiently used for medium density residential living.

(1) Housing capacity, intensity and choice in the zone is enabled ~~increased~~.

(2) Development is in keeping with the neighbourhood's planned suburban built character of predominantly two storey buildings, in a variety of forms (attached and detached).

- (3) Development provides quality built environments on site for residents, for residents on adjoining sites and to the street that are attractive, healthy and safe and meet the functional and operational needs of residents and emergency responders ~~on-site residential amenity for residents and adjoining sites and the street.~~
- (4) Non-residential activities provide for the community's social, economic and cultural well-being, while being compatible with the scale and intensity of development anticipated by the zone so as to contribute to the amenity of the neighbourhood.
- (5) Development contributes to a built environment that is resilient to the effects of climate change with areas of deep soil and canopy tree planting, and landscape treatment that comprises natural grass, shrubs and trees that reduce urban heat island effects.
- (6) Development addresses the functional and operational requirements of the water supply, wastewater and stormwater networks to avoid adverse effects on the function and capacity of those networks.
- (7) Development does not adversely affect the values of adjoining water bodies including riparian, lakeside and coastal protection areas; nor increases natural hazard risks.

H4.3. Policies

- (1) Enable a variety of housing types including integrated residential development such as retirement villages subject to achieving the planned built character and taking into account the existing environment.
- (2) Achieve the planned suburban built character of predominantly two storey buildings, in a variety of forms by:
 - (a) limiting the height, bulk and form of development;
 - (b) managing the design and appearance of multiple-unit residential development; and
 - (c) requiring sufficient setbacks and landscaped areas.
- (3) ~~[Deleted] Encourage development to achieve attractive and safe streets and public open spaces including by:~~
 - ~~(a) providing for passive surveillance~~
 - ~~(b) optimising front yard landscaping~~
 - ~~(c) minimising visual dominance of garage doors.~~
- (3A) Require development to achieve a built form that contributes to quality built environment outcomes by:
 - (a) maintaining privacy, outlook, daylight and sunlight access and reducing over-heating to provide for the health and safety of residents on-site;
 - (b) providing for residents' safety and privacy while enabling passive surveillance on the street, private vehicle access and pedestrian access;
 - (c) minimising visual dominance effects to adjoining sites;

- (d) maintaining a good level of privacy, and sunlight and daylight access for adjoining sites;
- (e) minimising visual dominance effects of carparking and garage doors to streets and private accessways;
- (f) minimising adverse effects on the natural environment, including restricting maximum impervious area on a site to reduce the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated;
- (g) requiring development to reduce the urban heat island effects of development and respond to climate change, by providing deep soil areas that enable the growth of canopy trees;
- (h) requiring adequate landscaped areas that comprise natural grass, plants or trees to provide for quality living environments and create vegetated urban streetscape character;
- (i) requiring outdoor living spaces that are functional in size, have access to sunlight, and are directly and conveniently accessible.
- (j) designing practical and sufficient space for residential waste management;
- (k) designing practical, functional and sufficient space for internal storage and living areas.
- (3B) Encourage development of four or more dwellings per site and non-residential activities to contribute to a safe and convenient local transport network for pedestrians, passenger transport users and cyclists.
- (3C) Require buildings to be setback from water bodies to maintain and protect environmental, open space, amenity values of riparian margins of lakes, streams and coastal areas and water quality and to provide protection from natural hazards.
- (3D) Restrict development in high hazard areas, and manage development in medium or low hazard areas to ensure natural hazard risk is tolerable or acceptable.
- ~~(4) [Deleted] Require the height, bulk and location of development to maintain a reasonable standard of sunlight access and privacy and to minimise visual dominance effects to adjoining sites.~~
- ~~(5) [Deleted] Require accommodation to be designed to meet the day to day needs of residents by:
 - ~~(a) providing privacy and outlook; and~~
 - ~~(b) providing access to daylight and sunlight and providing the amenities necessary for those residents.~~~~
- (10) Recognise the functional and operational requirements of activities and development, including functional access for emergency responders.
- ~~(6) [Deleted] Encourage accommodation to have useable and accessible outdoor living space.~~

- (7) ~~[Deleted] Restrict the maximum impervious area on a site in order to manage the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated.~~
- (8) Enable more efficient use of larger sites by providing for integrated residential development.
- (9) Provide for non-residential activities that:
- (a) support the social, cultural and economic well-being of the community;
 - (b) are in keeping with the scale and intensity of development anticipated within the zone;
 - (c) avoid, remedy or mitigate adverse effects on residential amenity; and
 - (d) will not detract from the vitality of the Business – City Centre Zone, Business – Metro Centre Zone and Business – Town Centre Zone.
- (11) Require development to remedy or mitigate adverse effects which may compromise the function and capacity of the water supply, wastewater and stormwater networks.
- (12) Require development on sites connected to the combined wastewater network as identified on the planning maps to demonstrate that there is sufficient capacity available in the combined wastewater network to enable servicing of the development without adverse effects which may compromise the function and capacity of the water supply network able to be managed.

Qualifying
matter as per
Sch 3C, cls
8(1)(b) of the
RMA

H4.4. Activity table

Table H4.4.1 Activity table specifies the activity status of land use and development activities in the Residential – Mixed Housing Suburban Zone pursuant to section 9(3) of the Resource Management Act 1991.

Table H4.4.1 Activity table

		Activity status	Standards to be complied with
Use			
(A1)	Activities not provided for	NC	
Residential			
(A2)	Camping grounds	D	
(A3)	Up to three dwellings per site	P	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; <u>Standard H4.6.15 Minimum Dwelling Size; Standard H4.6.17 Windows to street, private vehicle access and primary pedestrian access; Standard H4.6.18 Deep soil area and canopy tree; Standard H4.6.19 Safety and privacy buffer from private vehicle access and primary pedestrian access; Standard H4.6.21 Development within the Infrastructure – Combined Wastewater Network Control.</u>
(A4)	Four or more dwellings per site	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; <u>Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped Area; H4.6.11 Outlook space; Standard H4.6.12 Daylight; H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; Standard H4.6.15 Minimum Dwelling Size; Standard</u>

			<u>H4.6.17 Windows to street, private vehicle access and primary pedestrian access; Standard H4.6.18 Deep soil area and canopy tree; Standard H4.6.19 Safety and privacy buffer from private vehicle access and primary pedestrian access; Standard H4.6.20 Residential waste management.</u>
(A5)	The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings	P	Standard H4.6.3 The conversion of a principal dwelling into a maximum of two dwellings; <u>Standard H4.6.21 Development within the Infrastructure – Combined Wastewater Network Control.</u>
(A6)	Home occupations	P	Standard H4.6.2 Home occupations
(A7)	Home occupations that do not meet Standard H4.6.2	D	
(A8)	Integrated Residential Development	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; <u>Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; Standard H4.6.15 Minimum Dwelling Size; Standard H4.6.17 Windows to street, private vehicle access and primary pedestrian access; Standard H4.6.18 Deep soil area and canopy tree; Standard H4.6.19 Safety and privacy buffer from private vehicle access and primary pedestrian access; Standard H4.6.20 Residential waste management.</u>
(A9)	Supported residential care accommodating up to 10 people per site inclusive of staff and residents	P	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; <u>Standard H4.6.21 Development within</u>

			<u>the Infrastructure – Combined Wastewater Network Control.</u>
(A10)	Supported residential care accommodating greater than 10 people per site inclusive of staff and residents	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards
(A11)	Boarding houses accommodating up to 10 people per site inclusive of staff and residents	P	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; <u>Standard H4.6.21 Development within the Infrastructure – Combined Wastewater Network Control.</u>
(A12)	Boarding houses accommodating greater than 10 people per site inclusive of staff and residents	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; <u>Standard H4.6.10 Landscaped Area; H4.6.11 Outlook space; Standard H4.6.12 Daylight; H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; Standard H4.6.17 Windows to street, private vehicle access and primary pedestrian access.</u>
(A13)	Visitor accommodation accommodating up to 10 people per site inclusive of staff and visitors	P	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; and Standard H4.6.14 Front, side and rear fences and walls; <u>Standard H4.6.21 Development within the Infrastructure – Combined Wastewater Network Control.</u>
(A14)	Visitor accommodation accommodating greater than 10 people per site	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards

	inclusive of staff and visitors		
Commerce			
(A15)	Dairies up to 100m ² gross floor area per site	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; and Standard H4.6.14 Front, side and rear fences and walls
(A16)	Restaurants and cafes up to 100m ² gross floor area per site	D	
(A17)	Service stations on arterial roads	D	
Community			
(A18)	Care centres accommodating up to 10 people per site excluding staff	P	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; and Standard H4.6.14 Front, side and rear fences and walls; <u>Standard H4.6.21 Development within the Infrastructure – Combined Wastewater Network Control.</u>
(A19)	Care centres accommodating greater than 10 people per site excluding staff	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; and Standard H4.6.14 Front, side and rear fences and walls
(A20)	Community facilities	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; and

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			Standard H4.6.14 Front, side and rear fences and walls
(A21)	Education facilities	D	
(A22)	Tertiary education facilities	D	
(A23)	Emergency services adjoining an arterial road	D	
(A24)	Healthcare facilities up to 200m ² gross floor area per site	RD	Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; and Standard H4.6.14 Front, Side and rear fences and walls
(A25)	Healthcare facilities greater than 200m ² gross floor area per site	D	
(A26)	Veterinary clinics	D	
Rural			
(A27)	Grazing of livestock on sites greater than 2,000m ² net site area	P	
Mana Whenua			
(A28)	Marae complex	D	
Development			
(A29)	Demolition of buildings	P	
(A30)	[Deleted] Internal and external alterations to buildings	[Deleted] P	[Deleted] Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; Standard H4.6.15 Minimum dwelling size
(A30A)	<u>Internal and external alterations to buildings</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the building is designed to accommodate.</u>

(A31)	[Deleted] Accessory buildings	[Deleted] P	[Deleted] Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage.
(A31A)	<u>Accessory buildings</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the building is designed to accommodate.</u>
(A32)	[Deleted] Additions to an existing dwelling	[Deleted] P	[Deleted] Standard H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; Standard H4.6.15 Minimum dwelling size
(A32A)	<u>Additions to an existing dwelling</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the addition is designed to accommodate.</u>
(A33)	New buildings and additions to buildings which do not comply with H4.6.5 Height in relation to boundary, but comply with H4.6.6 Alternative height in relation to boundary	RD	Standard H4.6.6 Alternative height in relation to boundary Note: Compliance with Standard H4.6.5 Height in relation to boundary is not required.
(A34)	New buildings and additions	The same activity status and standards as applies to the land use activity that the new building or addition to a building is designed to accommodate	
(A35)	Rainwater Tank	P	Standard H4.6.16 Rainwater tanks
(A36)	<u>Standard H4.6.21 For development in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that comply with other standards but do not comply with H4.6.21.</u>	<u>RD</u>	

Qualifying matter as per Sch 3C, cls 8(1)(b) of the RMA

H4.5. Notification

- (1) Any application for resource consent for the following activities will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991:
 - (a) four or more dwellings per site that comply with all of the standards listed in Table H4.4.1 Activity table
 - (b) an integrated residential development that complies with all of the standards listed in Table H4.4.1 Activity table;
 - (c) New buildings and additions to buildings which do not comply with H4.6.5 Height in relation to boundary, but comply with Standard H4.6.6 Alternative height in relation to boundary.
 - (d) development which does not comply with H4.6.14 (1a) Front, side and rear fences and walls; or
 - (e) development which does not comply with Standard H4.6.15 Minimum dwelling size.
- (2) Any application for resource consent for an activity listed in Table H4.4.1 Activity table and which is not listed in H4.5(1) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.
- (3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in Rule [C1.13\(4\)](#).

H4.6. Standards

H4.6.1. Activities listed in Table H4.4.1 Activity table

- (1) Activities and buildings containing activities listed in Table H4.4.1 Activity table must comply with the standards listed in the column in Table H4.4.1 called Standards to be complied with.

H4.6.2. Home occupations

Purpose: to enable people to work from home at a scale that the residential character and amenity is maintained.

- (1) A home occupation must comply with all the following standards:
 - (a) at least one person engaged in the home occupation must use the dwelling on the site as their principal place of residence;
 - (b) no more than two people who do not use the dwelling as their principal place of residence may work in the home occupation;
 - (c) no more than four people in total may work in the home occupation;

- (d) the sale of goods or services from the home occupation that requires customers to come to the site and the delivery of goods to and from the site may not occur before 7am or after 7pm;
- (e) car trips to and from the home occupation activity must not exceed 20 per day;
- (f) heavy vehicle trips must not exceed two per week;
- (g) no more than one commercial vehicle associated with the home occupation may be on site at any one time;
- (h) storage for rubbish and recycling associated with the home occupation must be provided on site and screened from public view;
- (i) materials or goods manufactured, serviced or repaired in the home occupation must be stored and worked on within a building on the same site; and
- (j) goods sold from the home occupation must be:
 - (i) goods produced on site; or
 - (ii) goods that are primarily ordered by mail or electronic transaction and redistributed by post or courier; or
 - (iii) goods ancillary and related to a service provided by the home occupation.

H4.6.3. The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings

Purpose: to enable a dwelling existing as at 30 September 2013 to be converted into a maximum of two dwellings and to provide for sufficient outdoor living space for each of the dwellings.

- (1) Where a principal dwelling existing as at 30 September 2013 is proposed to be converted into a maximum of two dwellings each dwelling must have an outdoor living space that is:
 - (a) at least 5m² for a studio or one-bedroom dwelling and 8m² for a two or more bedroom dwelling; and
 - (b) at least 1.8m in depth; and
 - (c) directly accessible from the dwelling.

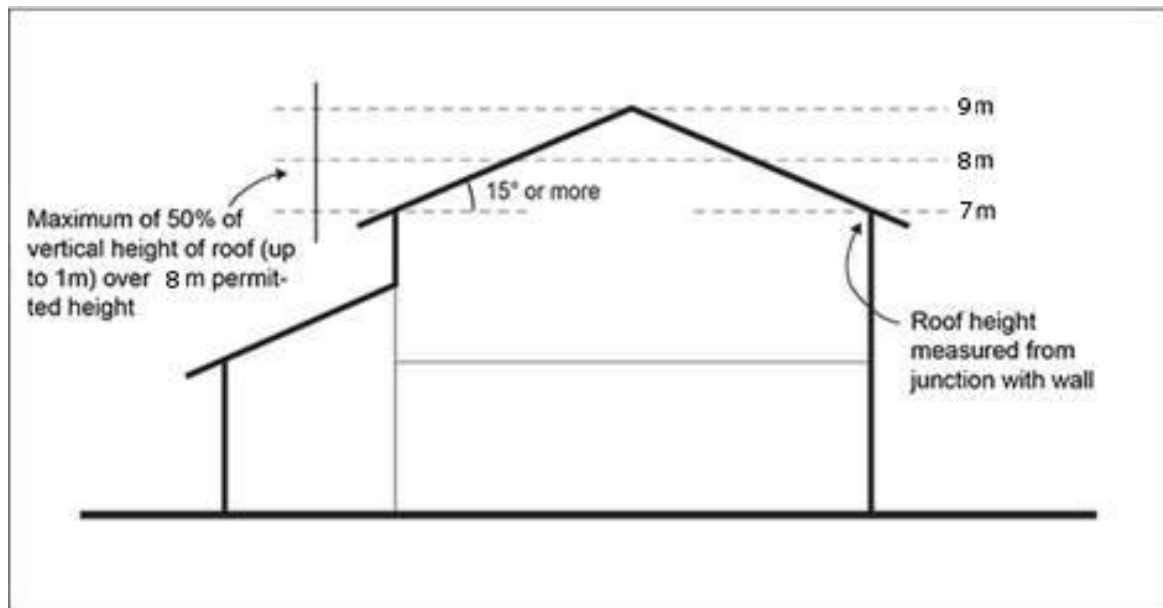
H4.6.4. Building height

Purpose: to manage the height of buildings to:

- achieve the planned suburban built character of predominantly one to two storeys;
- minimise visual dominance effects;

- maintain a reasonable standard of residential amenity for adjoining sites; and
 - provide some flexibility to enable variety in roof forms.
- (1) Buildings must not exceed 8m in height except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more, as shown in Figure H4.6.4.1 Building height in the Residential – Mixed Housing Suburban Zone below.

Figure H4.6.4.1 Building height in the Residential – Mixed Housing Suburban Zone

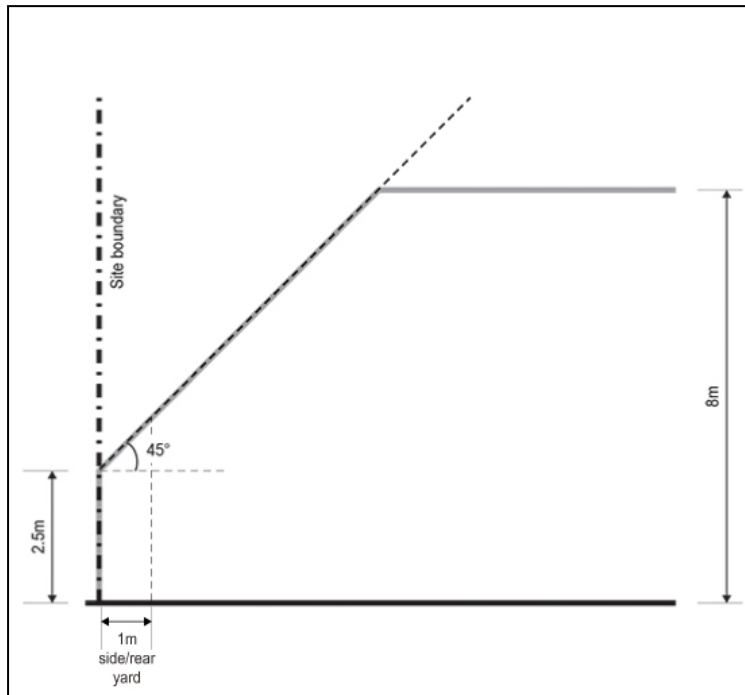


H4.6.5. Height in relation to boundary

Purpose: to manage the height and bulk of buildings at boundaries to maintain a reasonable level of sunlight access and minimise adverse visual dominance effects to immediate neighbours.

- (1) Buildings must not project beyond a 45 degree recession plane measured from a point 2.5m vertically above ground level along side and rear boundaries, as shown in Figure H4.6.5.1 Height in relation to boundary below.

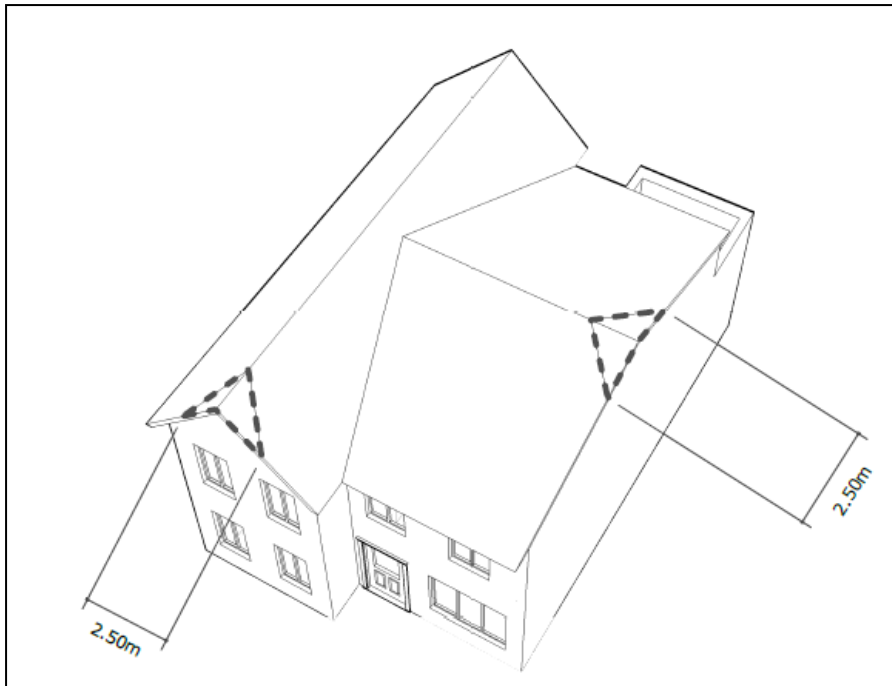
Figure H4.6.5.1 Height in relation to boundary



- (2) Standard H4.6.5(1) above does not apply to a boundary, or part of a boundary, adjoining any of the following:
- (a) a Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business – Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone; or
 - (b) sites within the: Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone:
 - (i) that are greater than 2000m²;
 - (ii) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and
 - (iii) Where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.
- (3) Standard H4.6.5(1) above does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.
- (4) Where the boundary forms part of a legal right of way, entrance strip, access site, or pedestrian access way, the control in Standard H4.6.5(1) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.

- (5) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
- (a) no greater than 1.5m² in area and no greater than 1m in height; and
 - (b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H4.6.5.2 Exceptions for gable ends, dormers and roof projections below.

Figure H4.6.5.2 Exceptions for gable ends, dormers and roof projections



- (6) No more than two gable end, dormer or roof projections are allowed for every 6m length of site boundary.
- (7) The height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.

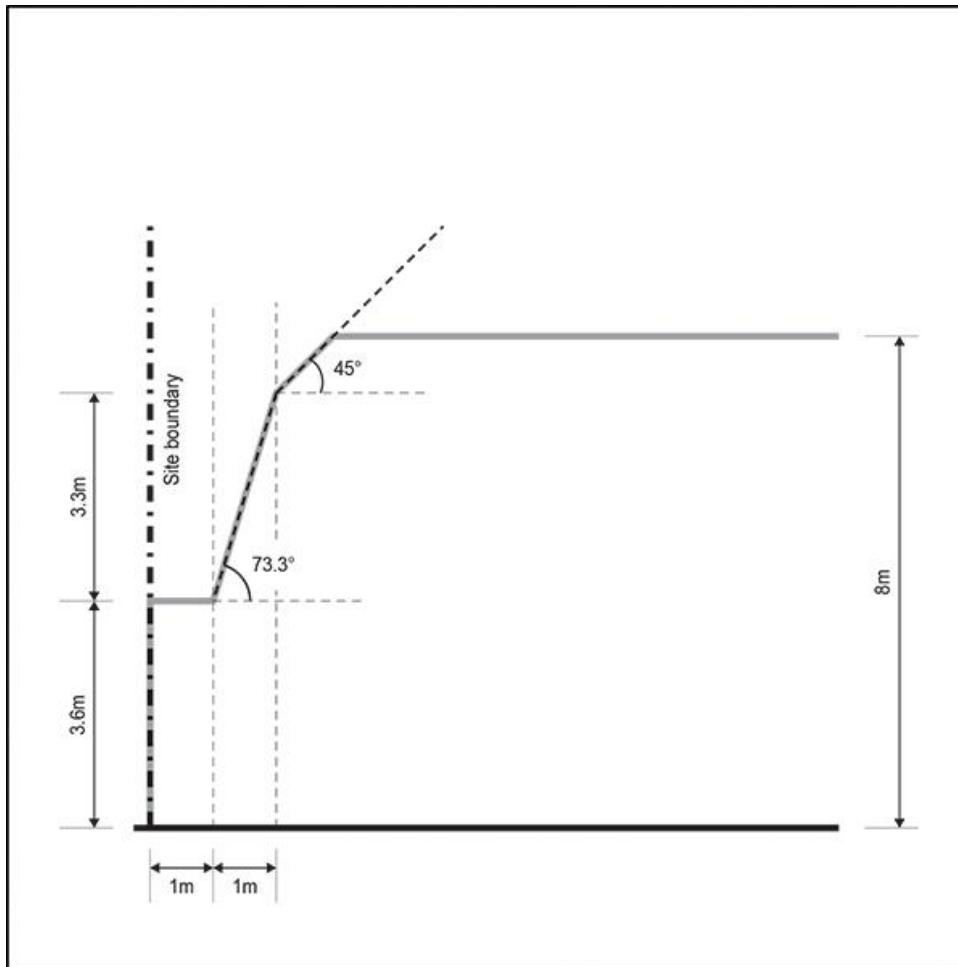
H4.6.6. Alternative height in relation to boundary

Purpose: to enable the efficient use of the site by providing design flexibility where a building is located close to the street frontage, while maintaining a reasonable level of sunlight access and minimising overlooking and privacy effects to immediate neighbours.

- (1) This standard is an alternative to the permitted Standard H4.6.5 Height in relation to boundary and applies to development that is within 20m of the site frontage.
- (2) Buildings within 20m of the site frontage must not exceed a height of 3.6m measured vertically above ground level at side and rear boundaries.

Thereafter, buildings must be set back one metre and then 0.3m for every additional metre in height (73.3 degrees) up to 6.9m and then one metre for every additional metre in height (45 degrees) as shown in Figure H4.6.6.1 Alternative height in relation to boundary below.

Figure H4.6.6.1 Alternative height in relation to boundary

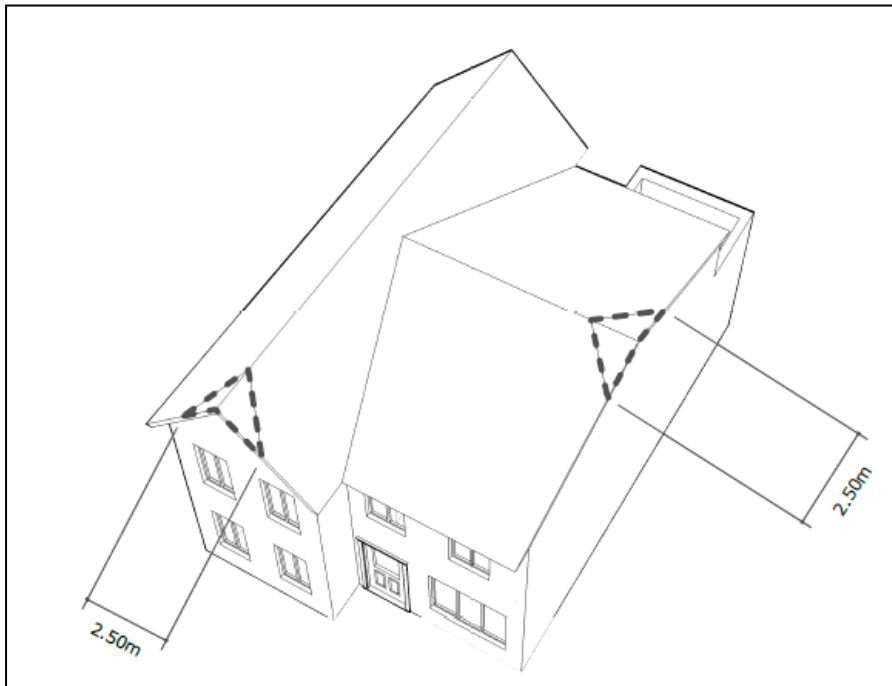


(3) Standard H4.6.6(2) above does not apply to a boundary adjoining any of the following:

- (a) a Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business – Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone; or
- (b) sites within the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone:
 - (i) that are greater than 2000m²;
 - (ii) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and
 - (iii) where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.

- (4) Standard H4.6.6(2) above does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.
- (5) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard H4.6.6(2) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.
- (6) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
 - (a) no greater than 1.5m² in area and no greater than 1m in height; and
 - (b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H4.6.6.2 Exceptions for gable ends and dormers and roof projections below.

Figure H4.6.6.2 Exceptions for gable ends, dormers and roof projections



- (7) No more than two gable ends, dormer or roof projections are allowed for every 6m length of site boundary.
- (8) The alternative height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.

H4.6.7. Yards

Purpose:

- to maintain the suburban built character of the streetscape and provide sufficient space for landscaping within the front yard;
- to maintain a reasonable standard of residential amenity for adjoining sites;

- to ensure buildings are adequately set back from lakes, streams and the coastal edge to maintain water quality and provide protection from natural hazards; and
- to enable buildings and services on the site or adjoining sites to be adequately maintained.

(1) A building or parts of a building must be set back from the relevant boundary by the minimum depth listed in Table H4.6.7.1 Yards below.

Table H4.6.7.1 Yards

Yard	Minimum depth
Front	3m
Side	1m
Rear	1m
Riparian	10m from the edge of all other permanent and intermittent streams
Lakeside	30m
Coastal protection yard	10m, or as otherwise specified in Appendix 6 Coastal protection yard

(2) Standard H4.6.7(1) does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.

Note 1

Emergency responder access requirements are further controlled by the Building Code. Plan users should refer to the Building Code to ensure compliance can be achieved at building consent stage. Granting of a resource consent does not imply that waivers of Building Code requirements will be granted. Fire and Emergency New Zealand publishes guidance in the context of the Building Code requirements.

H4.6.8. Maximum impervious area

Purpose:

- to manage the amount of stormwater runoff generated by a development, particularly in relation to the capacity of the stormwater network and potential flood risks;
- to support the functioning of riparian yards, lakeside yards and coastal yards and water quality and ecology;
- to reinforce the building coverage and landscaped area standards; and
- to limit paved areas on a site to improve the site's appearance and cumulatively maintain amenity values in a neighbourhood.

- (1) The maximum impervious area must not exceed 60 per cent of site area.
- (2) The maximum impervious area within a riparian yard, a lakeside yard or a coastal protection yard must not exceed 10 per cent of the riparian yard, the lakeside yard or the coastal protection yard area.

H4.6.9. Building coverage

Purpose: to manage the extent of buildings on a site to achieve the planned suburban built character of buildings.

- (1) The maximum building coverage must not exceed 40 per cent of the net site area.

H4.6.10. Landscaped area

Purpose:

- to provide for quality living environments consistent with the planned suburban built character of buildings and vegetated areas within a generally spacious setting; and
- to maintain the ~~landscaped~~ vegetated suburban streetscape character ~~of the streetscape~~ within the zone.

- (1) The minimum landscaped area must be at least 40 per cent of the net site area.
- (2) At least 50 per cent of the area of the front yard must comprise landscaped area.

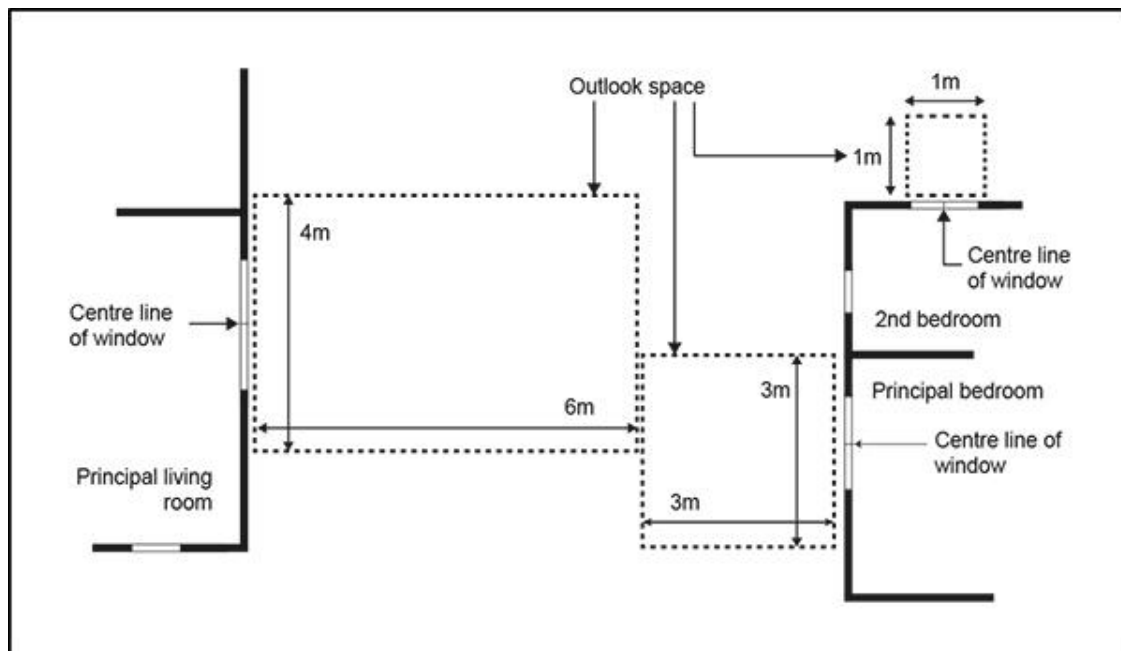
H4.6.11. Outlook space

Purpose:

- to ensure a reasonable standard of visual privacy between habitable rooms of different buildings, on the same or adjacent sites; and
 - in combination with the daylight standard, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space.
- (1) An outlook space must be provided from the face of a building containing windows to a habitable room. Where the room has two or more external faces with windows the outlook space must be provided from the face with the largest area of glazing.
 - (2) The minimum dimensions for a required outlook space are as follows:
 - (a) a principal living room of a dwelling or main living and dining area within a boarding house or supported residential care must have a outlook space with a minimum dimension of:
 - (i) 6m in depth and 4m in width; as shown in Figure H4.6.11.1
Required outlook space; or
 - (ii) where the principal living room outlook is on the ground floor and is defined by a boundary fence, outlook depth may be reduced to 5m.
 - (b) a principal bedroom of a dwelling or a bedroom within a boarding house or supported residential care unit must have an outlook space with a minimum dimension of 3m in depth and 3m in width; and

- (c) all other habitable rooms must have an outlook space with a minimum dimension of 1m in depth and 1m in width.
- (3) The depth of the outlook space is measured at right angles to and horizontal from the window to which it applies.
- (4) The width of the outlook space is measured from:
 - (a) the centre point of the largest window on the building face to which it applies where outlook depth is reduced to 5m as provided for under H4.6.11(2)(a)(ii) above; or
 - (b) the centre line of the façade of the largest window or balcony edge whichever is closer to the boundary or opposing building.
- (5) The height of the outlook space is the same as the floor height, measured from floor to ceiling, of the building face to which the standard applies.
- (6) Outlook spaces may be:
 - (a) over parking spaces, vehicle access or manoeuvring areas within the site;
 - (b) over a public street; or
 - (c) other public open space.
- (6A) Where the outlook space is from a ground floor principal living room it must not be over parking spaces, vehicle access or manoeuvring areas and H4.6.11(6)(a) does not apply.
- (7) Outlook spaces required from different rooms within the same building may overlap.
- (8) Outlook spaces may overlap where they are on the same wall plane.
- (9) Outlook spaces must:
 - (a) be clear and unobstructed by buildings;
 - (b) not extend over adjacent sites, except for where the outlook space is over a public street or public open space as outlined in Standard H4.6.11(6) above; and
 - (c) not extend over an outlook spaces or outdoor living space required by another dwelling.

Figure H4.6.11.1 Required outlook space



H4.6.12. Daylight

Purpose:

- to ensure adequate daylight for living areas and bedrooms in dwellings, supported residential care and boarding houses; and
- in combination with the outlook standard, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space.

(1) Where the proposed building and/or opposite building contains principal living room or bedroom windows in a dwelling, or main living/dining area or bedroom windows in supported residential care and boarding houses, then:

- (a) That part of a building higher than 3m opposite buildings within the same site is limited in height to twice the horizontal distance between the two buildings for a length defined by a 55 degree arc from the centre of the window. The arc may be swung to within 35 degrees of the plane of the wall containing the window as shown in Figure H4.6.12.2 Required setbacks for daylight below.

Refer to Table H4.6.12.1 Maximum height of the part of a building within a site facing a principal living room or bedroom window within the same site; Figure H4.6.12.1 Required setbacks for daylight and Figure H4.6.12.2 Required setbacks for daylight below).

- (2) Where the principal living room, main living/dining area or bedroom has two or more external faces with windows, Standard H4.6.12(1) above will apply to the largest window.
- (3) Where the window is above ground level, the height restriction is calculated from the floor level of the room containing the window.

- (4) Standards H4.6.12(1), (2) and (3) do not apply to development opposite the first 5m of a building which faces the street, measured from the front corner of the building.

Table H4.6.12.1 Maximum height of that part of a building within a site facing a principal living room or bedroom window within the same site

Distance of the building from the largest principal living room, living/dining room or bedroom window (x)	Maximum height of the defined portion of wall opposite an identified window	Length of wall restricted if 55 degree arc is perpendicular to window (y) (rounded)
1.0m	2.0m	1.0m
1.5m	3.0m	1.5m
2.0m	4.0m	2.0m
2.5m	5.0m	2.5m
2.7m	5.4m	2.7m
3.0m	6.0m	3.0m
3.5m	7.0m	3.5m
4.0m	8.0m	4.0m
4.5m	9.0m	4.5m

Figure H4.6.12.1 Required setbacks for daylight

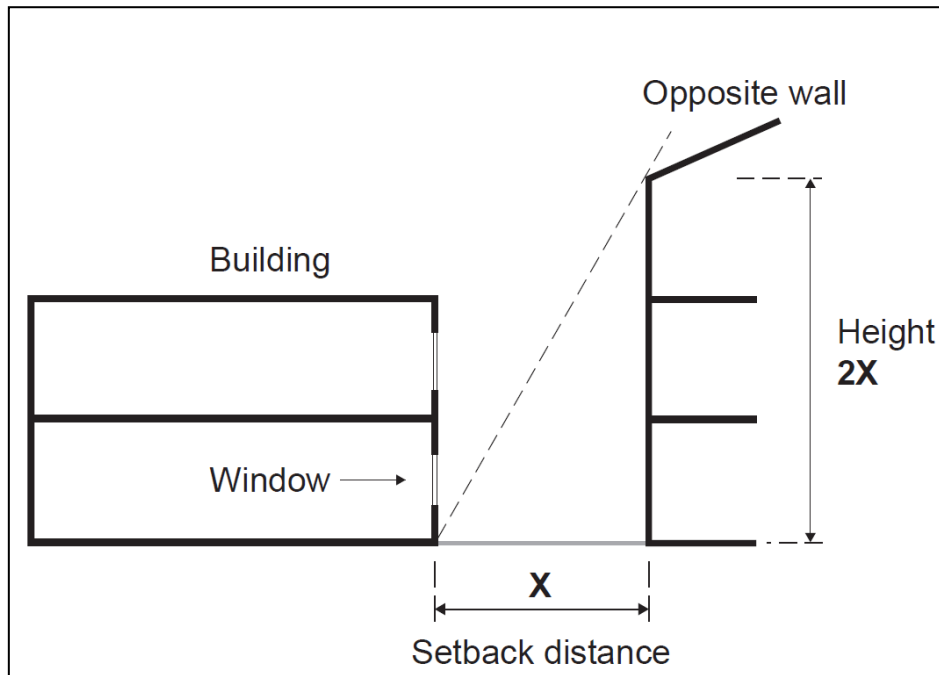
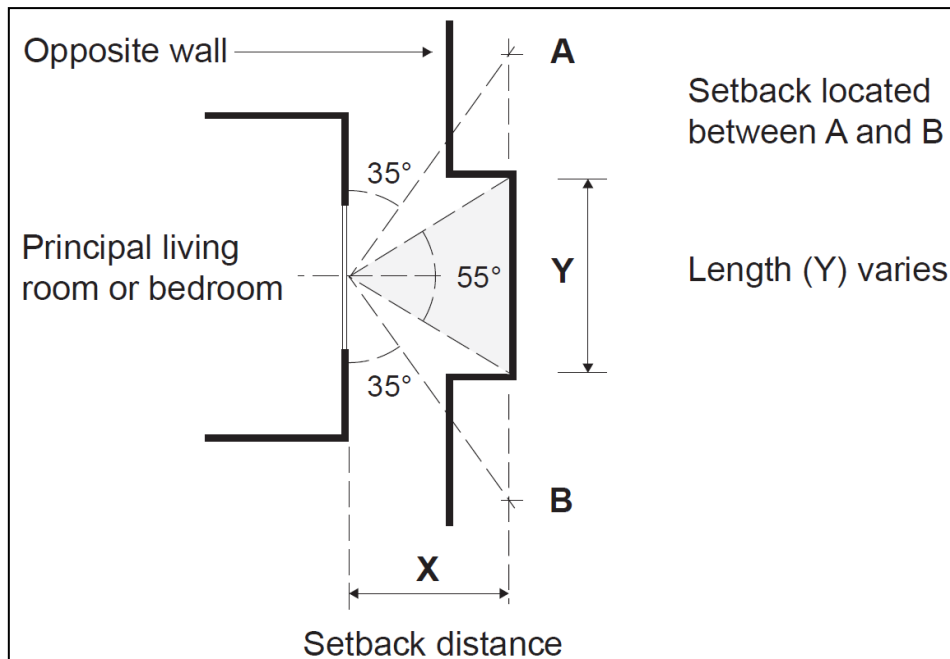


Figure H4.6.12.2 Required setbacks for daylight



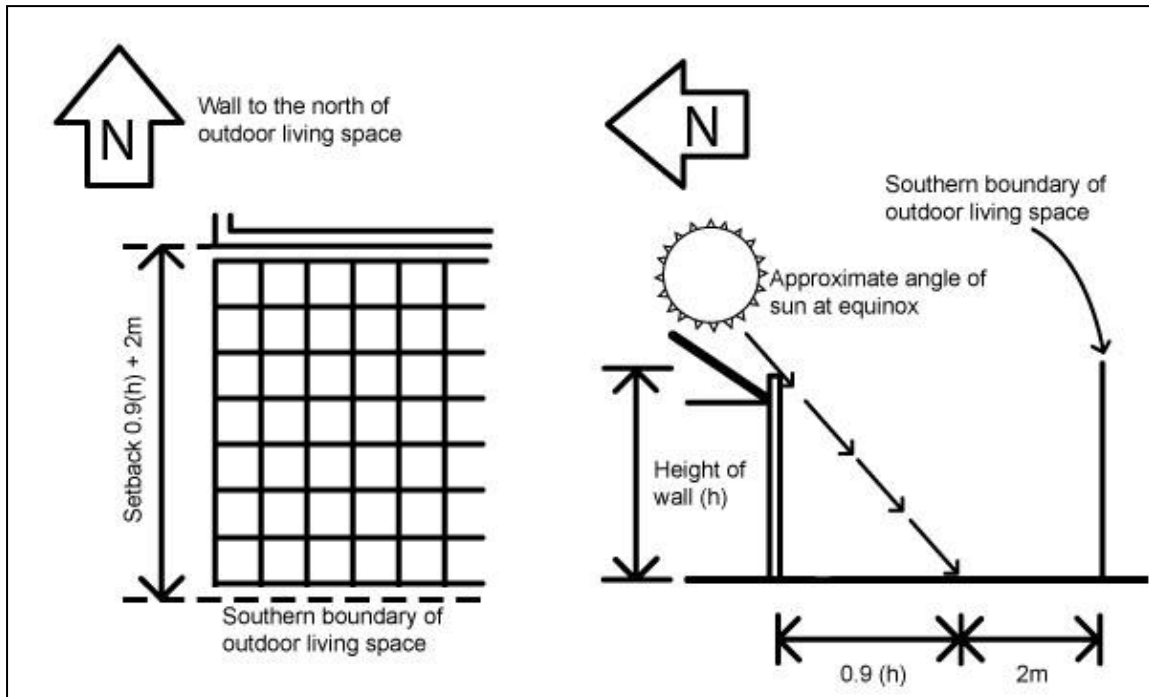
H4.6.13. Outdoor living space

Purpose: to provide dwellings, supported residential care and boarding houses with outdoor living space that is of a functional size and dimension, has access to sunlight, is separated from vehicle access and manoeuvring areas, and ensure: is accessible from the dwelling.

- private outdoor living spaces are directly accessible from the principal living room, dining room or kitchen;
 - for development with 20 or more dwellings communal outdoor living spaces are conveniently accessible for all occupants.
- (1) A dwelling, supported residential care or boarding house at ground floor level, must have an outdoor living space that is at least 20m² that comprises ground floor and/or balcony/roof terrace space that:
 - (a) where located at ground level has no dimension less than 4m and has a gradient not exceeding 1 in 20; and/or
 - (b) where provided in the form of balcony, patio or roof terrace is at least 5m² and has a minimum dimension of 1.8m; and
 - (c) is accessible from the dwelling, supported residential care unit or boarding house; and
 - (d) is free of buildings, parking spaces, servicing and manoeuvring areas.
 - (2) A dwelling, supported residential care or boarding house located above ground floor level must have an private outdoor living space in the form of a balcony, patio or roof terrace that:

- (a) is at least 5m² for studio and one-bedroom dwellings and has a minimum dimension of 1.8m; or
 - (b) is at least 8m² for two or more bedroom dwellings and has a minimum dimension of 1.8m; ~~and~~
 - (c) is directly accessible from the principal living room, dining room or kitchen of a dwelling, supported residential care unit or boarding house.
- (3) Where private outdoor living space required by Standard H4.6.13(1) or Standard H4.6.13(2) above is provided at ground level, and is located south of any building located on the same site, the southern boundary of that space must be separated from any wall or building by at least 2m + 0.9(h), where (h) is the height of the wall or building as shown in the Figure H4.6.13.1 Location of outdoor living space below. For the purpose of this standard south is defined as between 135 and 225 degrees.
- (4) In addition to H4.6.13(1) and H4.6.13(2) above, developments of 20 or more dwellings, including integrated residential development of 20 or more dwellings, must provide a communal outdoor living space that:
- (a) is located in a communally accessible location;
 - (b) is at least 10m² for every five dwellings it serves;
 - (c) is a minimum dimension of 4m;
 - (d) free of buildings, parking spaces and servicing and manoeuvring areas;
 - (e) for at least 20m² of the communal living space must receive a minimum of 3 hours of sunlight per day between the hours of 9am – 4pm on 21 June;
 - (f) has a gradient not exceeding 1 in 20; and
 - (g) may be split into no more than two outdoor communal living spaces per development.

Figure H4.6.13.1 Location of outdoor living space



Note 1

Emergency responder access requirements are further controlled by the Building Code. Plan users should refer to the Building Code to ensure compliance can be achieved at building consent stage. Granting of a resource consent does not imply that waivers of Building Code requirements will be granted. Fire and Emergency New Zealand publishes guidance in the context of the Building Code requirements.

H4.6.14. Front, side and rear fences and walls

Purpose: to enable fences and walls to be constructed on a front, side or rear boundary or within a front, side, rear, riparian, coastal protection or lakeside yard to a height sufficient to:

- provide privacy for dwellings while enabling opportunities for passive surveillance of the street or adjoining public place.
- minimise visual dominance effects to immediate neighbours, the street or adjoining public place.

(1) Fences or walls or a combination of these structures (whether separate or joined together) must not exceed the height specified below, measured from the ground level at the boundary:

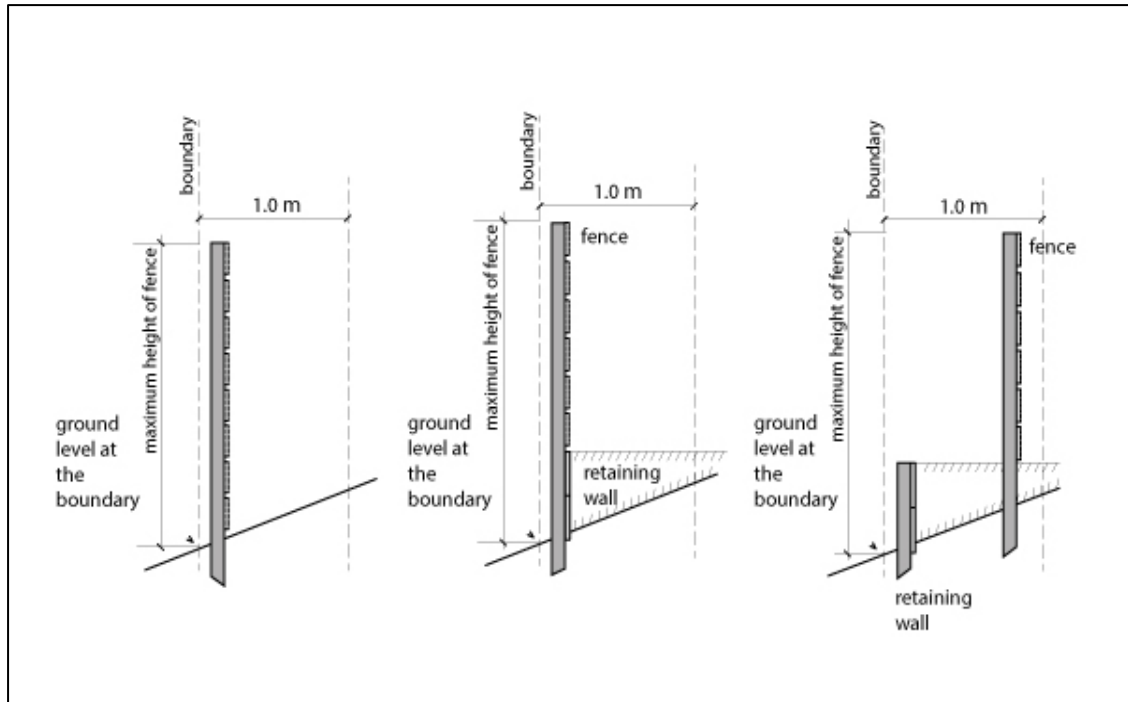
(a) Within the front yard, either:

- (i) 1.4m in height, or
- (ii) 1.8m in height for no more than 50 per cent of the site frontage and 1.4m for the remainder, or

- (iii) 1.8m in height if the fence is at least 50 per cent visually open as viewed perpendicular to the front boundary.

(b) Within side, rear, coastal protection, lakeside or riparian yards: 2m.

Figure H.4.6.14.1 Measurement of fence height



H4.6.15. Minimum dwelling size

Purpose: to ensure dwellings are functional and of a sufficient size to provide for the day to day needs of residents, based on the number of occupants the dwelling is designed to accommodate.

- (1) Dwellings must have a minimum net internal floor area as follows:
 - (a) 30m² for studio dwellings.
 - (b) 45m² for one or more bedroom dwellings.

H4.6.16. Rainwater tanks

Purpose: To enable rainwater tank installation and maintain amenity values.

- (1) Rainwater tanks must not be located:
 - (a) in a riparian, lakeside or coastal protection yard unless less than 1m in height, or wholly below ground level;
 - (b) in a front yard, unless they are at least 1.5m from the front boundary and are a maximum height of 1 m;

- (c) forward of any street facing or private vehicle access building façade, unless they are at least 1.5m from the front boundary and are a maximum height of 1m;
- (d) Clause (c) does not apply
 - (i) to sites with (or proposed to have) three or less dwellings;
 - (ii) to a rear service lane where the dwellings have frontage to a public street.
- (2) Rainwater tanks located within any required outlook area must be no higher than 1 m.
- (3) Rainwater tanks located within the required 20m² outdoor living space with minimum dimensions of 4m must be installed wholly below ground level.
- (4) Rainwater tanks (excluding any pipework) must not exceed 3 m in height in a rear or side yard.
- (5) Any overflow from the rainwater tank must discharge to the existing authorised stormwater system for the site.

Note: If there is a new stormwater discharge or diversion created Chapter E8.6.2.1 and Building Act requirements must be complied with.

Note: Building Act regulations apply. A building consent may be required under the Building Act.

H4.6.17. Windows to street, private vehicle access and primary pedestrian access

Purpose: To provide for passive surveillance while maintaining privacy for residents and users.

- (1) Any dwelling and integrated residential development facing the street, public open spaces, public pedestrian accessways, cycleways, private vehicle access or primary pedestrian access, must have a minimum of 20 per cent of the relevant façade in glazing. This can be in the form of windows or doors.
- (2) For the purposes of H4.6.17(1) above, glazing:
 - (a) may be in the form of windows or doors;
 - (b) may include joinery between and around window panes (excluding window frames); and
 - (c) excludes any roof space enclosed by gable ends.
- (3) For the purposes of H4.6.17(1) above, the relevant façade is that façade less than 45 degrees from the relevant boundary.

H4.6.18. Deep soil area and canopy tree

Purpose: To build resilience to climate change effects through provision of deep soil areas that support canopy trees, which assist in removing carbon, reducing urban heat island effects and enabling the infiltration of stormwater.

- (1) Any site greater than 200m² must provide a deep soil area of a minimum of 10 per cent of the site area and canopy tree(s) that must comply with Table H4.6.18.1 Deep soil area and canopy tree requirements and Table H4.6.18.2 Minimum tree canopy dimensions below:
- (2) Deep soil areas required by H4.6.18(1) may be provided in private and communal outdoor living spaces and landscaped areas.
- (3) Trees required by H4.6.18(1) can be existing canopy trees or new canopy trees in accordance with Table H4.6.18.2 Minimum tree canopy dimensions below.

Table H4.6.18.1 Deep soil area and canopy tree requirements

<u>Site Area (prior to development or re-development)</u>	<u>Minimum area for each deep soil area</u>	<u>Minimum area dimension</u>	<u>Minimum canopy tree requirements</u>
<u>200m² – 600m²</u>	<u>20m²</u>	<u>2.5m</u>	<u>1 small canopy tree per 200m² of site</u>
<u>601m² – 1,500m²</u>	<u>30m²</u>	<u>3m</u>	<u>1 medium canopy tree per 300m² of site</u>
<u>1,501m² or more</u>	<u>50m²</u>	<u>4m</u>	<u>1 large canopy tree or 2 medium canopy trees per 500m² of site</u>

Table H4.6.18.2 Minimum tree canopy dimensions

<u>Tree Size</u>	<u>Minimum mature tree height dimension</u>	<u>Minimum mature canopy diameter dimension</u>	<u>Minimum tree height above ground when planted</u>	<u>Indicative tree planting grade</u>
<u>Small</u>	<u>8m</u>	<u>6m</u>	<u>2m</u>	<u>120L</u>
<u>Medium</u>	<u>10m</u>	<u>8m</u>	<u>2.5m</u>	<u>160L</u>
<u>Large</u>	<u>15m</u>	<u>12m</u>	<u>3m</u>	<u>200L</u>

H4.6.19. Safety and privacy buffer from private vehicle access and primary pedestrian access

Purpose: to provide a reasonable standard of safety and privacy for ground floor dwellings located adjacent to private vehicle access and primary pedestrian access while ensuring passive surveillance.

- (1) A minimum 1m buffer area must be provided between a dwelling and private pedestrian and/or vehicle accessways to another dwelling.
- (2) The buffer area may contain:
 - (a) cantilevers such as awnings over front doors, footpaths to front doors, and vehicle crossings to garages; and
 - (b) waste storage areas and heat pump or air conditioning external units.
- (3) The buffer area must be:
 - (a) free of buildings, parking spaces, servicing and manoeuvring areas; and
 - (b) planted with shrubs and/or ground cover plants that will grow to no less than 400mm in height.
- (4) Where the buffer area is combined with areas subject to clear width / height requirements under Standard E27.6.6(4):
 - (a) Standard H4.6.19(2) above does not apply;
 - (b) any planting required by H4.6.19(3)(b) must comprise soft/frangible shrubs and/or ground cover plants that will grow to no less than 400mm and no more than 600mm in height; and
 - (c) the buffer area must comply with all the requirements in Standard E27.6.6(4).

H4.6.20. Residential waste management

Purpose: To provide accessible storage and collection space for waste bins for four or more dwellings and integrated residential developments.

- (1) On-site waste storage using individual or communal waste bins must be provided as follows:
 - (a) Where individual bins are used, a total storage space of 1.4m² per dwelling.
 - (b) Where communal bins are used, the total storage space provided must be calculated in accordance with the Auckland Council's Solid Waste Calculator.
 - (c) The location of bins must visually screened from within the site, from the street and/or adjacent sites.
- (2) Where kerbside collection is used, there must be kerbside space of at least 1m width per dwelling, contained within the road frontage of the site without impeding the public footpath.

(3) Ten or more dwellings must provide a waste management and minimisation plan.

(4) Where on-site collection of individual waste bins is used, there must be a space of at least 1m² per dwelling.

Qualifying matter as
per Sch 3C, cls
8(1)(b) of the RMA

H4.6.21. Development within the Infrastructure – Combined Wastewater Network Control

Purpose: to restrict development in any area served by a combined wastewater network where public sewer separation has not occurred while enabling new development where separation is in progress and the new development can connect to a separated local stormwater pipe that is part of the public stormwater network.

(1) Development on a site served by the combined wastewater network must be able to connect to an existing separated local stormwater pipe that is part of the public stormwater network; and

(2) The wastewater network service provider has confirmed that there is sufficient capacity available in the combined wastewater network to service the proposed development.

H4.7. Assessment – controlled activities

There are no controlled activities in this zone.

H4.8. Assessment – restricted discretionary activities

H4.8.1. Matters of discretion

The Council will restrict its discretion to the following matters when assessing a restricted discretionary activity resource consent application:

(1) for supported residential care accommodating greater than 10 people per site inclusive of staff and residents; boarding houses accommodating greater than 10 people per site inclusive of staff and residents; visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors; dairies up to 100m² gross floor area per site; care centres accommodating greater than 10 people per site excluding staff; community facilities; and healthcare facilities up to 200m² gross floor area per site:

(a) the effects on the neighbourhood character, residential amenity, safety, and the surrounding residential area from all of the following:

- (i) building intensity, scale, location, form and appearance;
- (ii) traffic;
- (iii) location and design of parking and access; and
- (iv) noise, lighting and hours of operation.

(b) the effects on Infrastructure and servicing including:-

(i) existing infrastructure capacity.

(2) for four or more dwellings per site:

(a) the effects on the neighbourhood character, residential amenity, safety and the surrounding residential area from all of the following:

(i) building intensity, scale, and location including:

A. the way in which buildings are orientated to public streets, public open spaces, public pedestrian accessways, cycleways, private vehicle access, pedestrian access and adjoining sites; and

B. the extent to which the height, roof form and design of buildings respond to the local streetscape and the planned urban built character of the surrounding area.

(ia) building form and appearance including:

A. use of built elements such as materials, surface and architectural detailing and roof design to create visual interest;

B. use of deep soil and/or outdoor living areas, modulation, architectural features, windows, doors and breaks in building length to minimise bulk and visual dominance;

C. whether design provides for the balance between resident's privacy and opportunities for passive surveillance of public streets, public pedestrian accessways, cycleways, private vehicle access and pedestrian access;

D. whether the design provides for privacy, and sunlight and daylight access for adjoining sites; and

E. the interface with an identified special character area or a scheduled historic heritage place.

(ib) the extent to which the functional, day to day needs, and health and safety of residents are provided in terms of:

A. the size and dimensions of living areas relative to the likely occupancy levels of the dwellings;

B. internal storage;

C. residential waste management, including the kerbside and/or on-site capacity and accessibility for residential waste management; and

D. natural cross ventilation and minimises overheating within dwellings.

(ii) traffic; and

(iii) location and design of ~~parking and access~~ (including pedestrian access) and parking (if provided).

- (b) ~~[deleted] all of the following standards:~~
- ~~(i) Standard H4.6.8 Maximum impervious areas;~~
 - ~~(ii) Standard H4.6.9 Building coverage;~~
 - ~~(iii) Standard H4.6.10 Landscaped area;~~
 - ~~(iv) Standard H4.6.11 Outlook space;~~
 - ~~(v) Standard H4.6.12 Daylight;~~
 - ~~(vi) Standard H4.6.13 Outdoor living space;~~
 - ~~(vii) Standard H4.6.14 Front, side and rear fences and walls; and~~
 - ~~(viii) Standard H4.6.15 Minimum dwelling size.~~
- (c) the effects on infrastructure and servicing including:
- (i) existing infrastructure capacity.
- (d) the provision of effective and efficient emergency responder servicing.
- (e) adequacy of emergency responder access.
- (3) for integrated residential development:
- (a) the effects on the neighbourhood character, residential amenity, safety, and the surrounding residential area from all of the following:
- (i) building intensity, scale, location, form and appearance including the extent to which buildings as viewed from the street or public places are designed to minimise visual dominance effects taking into account:
 - A. the planned urban built character of the zone;
 - B. the location, orientation and design of development; and
 - C. the effect of the proposed height on the surrounding and neighbouring development.
 - (ii) traffic;
 - (iii) location and design of ~~parking and~~ access (including pedestrian access) and parking (if provided); and
 - (iv) noise, lighting and hours of operation.
- (b) ~~[deleted] all of the following standards:~~
- ~~(i) Standard H4.6.8 Maximum impervious areas;~~
 - ~~(ii) Standard H4.6.9 Building coverage;~~
 - ~~(iii) Standard H4.6.10 Landscaped area;~~
 - ~~(iv) Standard H4.6.11 Outlook space;~~
 - ~~(v) Standard H4.6.12 Daylight;~~
 - ~~(vi) Standard H4.6.13 Outdoor living space;~~

- ~~(vii) Standard H4.6.14 Front, side and rear fences and walls; and~~
 - ~~(viii) Standard H4.6.15 Minimum dwelling size.~~
 - (c) the effects on infrastructure and servicing including:
 - (i) existing infrastructure capacity.
 - (d) the provision of effective and efficient emergency responder servicing.
 - (e) adequacy of emergency responder access.
- (4) for buildings that do not comply with the relevant Standard(s) specified in Table H4.4.1 ~~H4.6.4 Building height; Standard H4.6.5 Height in relation to boundary; Standard H4.6.6 Alternative height in relation to boundary; Standard H4.6.7 Yards; Standard H4.6.8 Maximum impervious areas; Standard H4.6.9 Building coverage; Standard H4.6.10 Landscaped area; Standard H4.6.11 Outlook space; Standard H4.6.12 Daylight; Standard H4.6.13 Outdoor living space; Standard H4.6.14 Front, side and rear fences and walls; Standard H4.6.15 Minimum dwelling size:~~
- (a) any policy which is relevant to the standard;
 - (b) the purpose of the standard;
 - (c) the effects of the infringement of the standard;
 - (d) the effects on the planned suburban built character of the zone;
 - (e) the effects on the amenity of neighbouring sites;
 - (f) the effects of any special or unusual characteristic of the site which is relevant to the standard;
 - (g) the characteristics of the development;
 - (h) any other matters specifically listed for the standard; and
 - (i) where more than one standard will be infringed, the effects of all infringements.
- (5) For new buildings and additions to buildings which do not comply with H4.6.5. Height in relation to boundary, but comply with H4.6.6 Alternative height in relation to boundary:
- (a) Sunlight access;
 - (b) Attractiveness and safety of the street; and
 - (c) Overlooking and Privacy.
- (6) For development in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that does not comply with Standard H4.6.21:
- (a) the effect of the development on the function and capacity of the Combined Wastewater Network; and
 - (b) the effect on the environment from the lack of available capacity.

H4.8.2. Assessment criteria

The Council will consider the assessment criteria below for restricted discretionary activities to the extent relevant to the proposal:

- (1) for supported residential care accommodating greater than 10 people per site inclusive of staff and residents; boarding houses accommodating greater than 10 people per site inclusive of staff and residents; visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors; dairies up to 100m² gross floor area per site; care centres accommodating greater than 10 people per site excluding staff; community facilities; and healthcare facilities up to 200m² gross floor area per site:
 - (a) infrastructure and servicing:
 - (i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development, including adequate water for firefighting.
 - (ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.
 - (b) building intensity, scale, location, form and appearance:
 - (i) whether the intensity and scale of the activity, the building scale, location, form and appearance is attractive, healthy and safe, and is compatible with the character and residential amenity provided for within the zone and compatible with the surrounding residential area.
 - (c) traffic:
 - (i) whether the activity avoids or mitigates high levels of additional non-residential traffic on local roads.
 - (d) location and design of parking and access (including pedestrian and emergency responder access) and parking (if provided):
 - (i) whether adequate access is provided or required, including functional access for emergency responders:-
 - (ii) whether carparking and access are integrated into the overall design of development;
 - (iii) whether parking is located away from street frontages and screened from the street by buildings or landscaping; and
 - (iv) whether safe, well-lit pedestrian access is provided and integrated into the design of development.
 - (e) noise, lighting and hours of operation:
 - (i) whether noise and lighting and the hours of operation of the activity avoids, remedies or mitigates adverse effects on the residential amenity of surrounding properties, by:

- locating noisy activities away from neighbouring residential boundaries;
- screening or other design features; and
- controlling the hours of operation and operational measures.

(2) for four or more dwellings on a site:

(a) the extent to which ~~or whether~~ the development achieves the purpose outlined in the following relevant standards identified in Table H4.4.1 or what alternatives are provided that result in the same or a better outcome:-

- (i) [deleted] Standard H4.6.8 Maximum impervious areas;
- (ii) [deleted] Standard H4.6.9 Building coverage;
- (iii) [deleted] Standard H4.6.10 Landscaped area;
- (iv) [deleted] Standard H4.6.11 Outlook space;
- (v) [deleted] Standard H4.6.12 Daylight;
- (vii) [deleted] Standard H4.6.13 Outdoor living space;
- (vii) [deleted] Standard H4.6.14 Front, side and rear fences and walls; and
- (viii) [deleted] Standard H4.6.15 Minimum dwelling size

(aa) the extent to which the scale of the activity, the building location, form and appearance is of high-quality and compatible with the planned urban built character and residential amenity of the surrounding residential area provided for within the zone.

(ab) the extent to which buildings are designed to manage building length and bulk and visual dominance by:

- (i) varying roof form and building height;
- (ii) using modulation and architectural features to break up the mass of buildings into visually distinct elements;
- (iii) using the proportions and arrangement of windows and doors to provide relief to building length and bulk;
- (iv) using other building elements including materials, surface detailing, architectural detail and roof design to provide visual interest along building facades including blank side/party walls;
- (v) providing adequate breaks in long continuous buildings to minimise the appearance of length;
- (vi) locating deep soil areas and/or communal outdoor spaces around and between buildings to provide space and soften the built form; and
- (vii) designing balconies as an integral part of the building.

(ac) the extent to which buildings adjoining or across the street from an identified special character area or a scheduled historic heritage place are designed to

respect the prevailing character of the area or key historic heritage design and location elements of that place. New and contemporary interpretations in form and detail may be used.

(ad) the extent to which building facades contribute positively to the visual amenity and safety of public streets, public open spaces, and private vehicle access and pedestrian access by:

- (i) having clearly defined fronts that provide passive surveillance from windows and balconies;
- (ii) maximising doors, windows and balconies over all levels on the front façades whilst not impacting on the privacy of residents on adjoining sites.
- (iii) maximising the number of dwellings on the site that directly front, align and orientate to public streets;
- (iv) ground level dwellings closest to the street each have direct and clearly defined pedestrian access from the street in preference to a single building entrance;
- (v) optimise landscaping in the front dwellings;
- (vi) minimise the visual dominance of garage doors; and
- (vii) where a site adjoins public open space, buildings include entrances, windows of habitable rooms and balconies facing the open space.

(ae) the extent to which site layout creates legible, visible attractive, safe and well-lit connections between dwellings and the street.

(af) the extent to which dwellings:

- (i) orientate and locate windows to optimise privacy within the dwelling and reduce overlooking of dwellings and their outdoor living space in the same or an adjoining site;
- (ii) are designed to reduce overheating through window size and orientation, natural cross ventilation, and external design elements to provide shading;
- (iii) optimise sunlight and daylight access based on orientation, function, window design and location, and depth of the dwelling floor space;
- (iv) provide practical, functional and sufficient space for internal storage and living areas for the number and type of occupants the dwelling is designed to accommodate; and
- (v) the necessary storage and waste collection and recycling facilities is provided in locations conveniently accessible and screened from streets and public open spaces.

(b) ~~[Deleted]The extent to which the development contributes to a variety of housing types in the zone and is in keeping with the neighbourhood's planned suburban build character of predominantly two-storey buildings (attached or~~

~~detached) by limiting the height, bulk and form of the development and managing the design and appearance as well as providing sufficient setbacks and landscaped areas.~~

- (c) ~~[deleted]~~
- (d) ~~[Deleted]The extent to which development achieves attractive and safe streets and public open space by:~~
 - ~~(i) — providing doors, windows and/or balconies facing the street and public open space~~
 - ~~(ii) — minimising tall, visually impermeable fences~~
 - ~~(iii) — designing large scale development (generally more than 15 dwellings) to provide for variations in building form and/or façade design as viewed from streets and public open spaces.~~
 - ~~(iv) — optimising front yard landscaping~~
 - ~~(v) — providing safe pedestrian access to buildings from the street~~
 - ~~(vi) — minimising the visual dominance of garage doors, walkways or staircases to upper level dwellings, and carparking within buildings as viewed from streets or public open spaces~~
- (e) ~~[Deleted]The extent to which the height, bulk and location of the development maintains a reasonable standard of sunlight access and privacy and minimises visual dominance to adjoining sites.~~
- (f) ~~[Deleted]The extent to which dwellings:~~
 - ~~(i) — Orientate and locate windows to optimise privacy and encourage natural cross ventilation within the dwelling.~~
 - ~~(ii) — Optimise sunlight and daylight access based on orientation, function, window design and location, and depth of the dwelling floor space.~~
 - ~~(iii) — Provide secure and conveniently accessible storage for the number and type of occupants the dwelling is designed to accommodate.~~
 - ~~(iv) — Provide the necessary waste collection and recycling facilities in locations conveniently accessible and screened from streets and public open spaces.~~
- (g) ~~[Deleted]The extent to which outdoor living space:~~
 - ~~(i) — Provides for access to sunlight~~
 - ~~(ii) — Provides privacy between the outdoor living space of adjacent dwellings on the same site and between outdoor living space and the street.~~
 - ~~(iii) — When provided at ground level, is located on generally flat land or is otherwise functional.~~
- (h) ~~[Deleted]~~ refer to Policy H4.3(7); and

(ha) refer to Policy H4.3(1);

(hb) refer to Policy H4.3(2);

(hc) refer to Policy H4.3(3A);

(hd) refer to Policy H4.3(10);

(i) infrastructure and servicing:

- (i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development including adequate water for firefighting and this is confirmed by the service provider.
- (ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.

(3) for integrated residential development:

(a) the extent to which or whether the development achieves the purpose outlined in the ~~following relevant standards and identified in Table H4.4.1~~ or what alternatives are provided that result in the same or a better outcome:

- (i) ~~[Deleted] Standard H4.6.8 Maximum impervious areas;~~
- (ii) ~~[Deleted] Standard H4.6.9 Building coverage;~~
- (iii) ~~[Deleted] Standard H4.6.10 Landscaped area;~~
- (iv) ~~[Deleted] Standard H4.6.11 Outlook space;~~
- (v) ~~[Deleted] Standard H4.6.12 Daylight;~~
- (vi) ~~[Deleted] Standard H4.6.13 Outdoor living space; and~~
- (vii) ~~[Deleted] Standard H4.6.14 Front, side and rear fences and walls; and~~
- (viii) ~~[Deleted] Standard H4.6.15 Minimum dwelling size (excluding retirement villages).~~

(b) refer to Policy H4.3(1);

(ba) refer to Policy H4.3(3A)

(c) ~~[deleted] refer to Policy H4.3(2);~~

(d) ~~[deleted] refer to Policy H4.3(3);~~

(e) ~~[deleted] refer to Policy H4.3(4);~~

(f) ~~[deleted] refer to Policy H4.3(5);~~

(g) ~~[deleted] refer to Policy H4.3(6);~~

(h) ~~[deleted] refer to Policy H4.3(7);~~

(i) ~~[deleted] refer to Policy H4.3(8).~~

(j) ~~[deleted] refer to Policy H4.3(9); and~~

(k) infrastructure and servicing:

- (i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development including adequate water for firefighting and this is confirmed by the service provider.
 - (ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.
- (4) For new buildings and additions to buildings which do not comply with H4.6.5. Height in relation to boundary, but comply with H4.6.6 Alternative height in relation to boundary:

Sunlight access

- (a) Whether sunlight access to the outdoor living space of an existing dwelling on a neighbouring site satisfies the following criterion:

Four hours of sunlight is retained between the hours of 9am – 4pm during the Equinox (22 September):

- (i) over 75% of the existing outdoor living space where the area of the space is greater than the minimum required by Standard H4.6.13: or
 - (ii) over 100% of existing outdoor living space where the area of this space is equal to or less than the minimum required by Standard H4.6.13.
- (b) In circumstances where sunlight access to the outdoor living space of an existing dwelling on a neighbouring site is less than the outcome referenced in (a):
- (i) The extent to which there is any reduction in sunlight access as a consequence of the proposed development, beyond that enabled through compliance with Standard H4.6.5 Height in relation to boundary control; and
 - (ii) The extent to which the building affects the area and duration of sunlight access to the outdoor living space of an existing dwelling on a neighbouring site, taking into account site orientation, topography, vegetation and existing or consented development.

Attractiveness and safety of the street

- (c) The extent to which those parts of buildings located closest to the front boundary achieve attractive and safe streets by:
- (i) providing doors, windows and balconies facing the street;
 - (ii) optimising front yard landscaping;
 - (iii) providing safe pedestrian access to buildings from the street; and
 - (iv) minimising the visual dominance of garage doors as viewed from the street.

Overlooking and privacy

- (d) The extent to which direct overlooking of a neighbour's habitable room windows and outdoor living space is minimised to maintain a reasonable standard of privacy, including through the design and location of habitable room windows, balconies or terraces, setbacks, or screening.
- (5) for building height infringements:
 - (a) refer to Policy H4.3(2);
 - (aa) refer to Policy H4.3(3A);
 - (b) [deleted] ~~refer to Policy H4.3(4); and~~
- (6) for height in relation to boundary infringements:
 - (a) refer to Policy H4.3(2);and
 - (aa) refer to Policy H4.3(3A);
 - (b) [deleted] ~~refer to Policy H4.3(4); and~~
 - (c) [deleted] ~~refer to Policy H4.3(5).~~
- (7) for alternative height in relation to boundary infringements:
 - (a) refer to Policy H4.3(2);
 - (aa) refer to Policy H4.3(3A);
 - (b) [deleted] ~~refer to Policy H4.3(3);~~
 - (c) [deleted] ~~refer to Policy H4.3(4); and~~
 - (d) [deleted] ~~refer to Policy H4.3(5).~~
- (8) for yards infringements:
 - (za) refer to Policy H4.3(3A).
 - (a) [deleted] ~~refer to Policy H4.3(2); and~~
 - (b) [deleted] ~~refer to Policy H4.3(4).~~
- (9) for maximum impervious areas infringements:
 - (za) refer to Policy H4.3(3A).
 - (a) [deleted] ~~refer to Policy H4.3(7).~~
- (10) for building coverage infringements:
 - (za) refer to Policy H4.3(3A);
 - (a) [deleted] ~~refer to Policy H4.3(2); and~~
 - (b) [deleted] ~~refer to Policy H4.3(4).~~
 - (c) whether the non-compliance is appropriate to the context taking into account:
 - (i) whether the balance of private open space and buildings is consistent with the existing and planned urban character anticipated for the zone;

(ii) the degree to which the balance of private open space and buildings reduces onsite amenity for residents, including the useability of outdoor living areas and functionality of landscape areas;

(iii) the proportion of the building scale in relation to the proportion of the site.

(11) for landscaped area infringements:

(a) refer to Policy H4.3(2);

(aa) refer to Policy H4.3(3A); and

(b) [deleted] ~~refer to Policy H4.3(4);~~

(c) [deleted] ~~refer to Policy H4.3(5); and~~

(d) [deleted] ~~refer to Policy H4.3(6).~~

(e) the extent to which existing trees are retained.

(12) for outlook space infringements:

(za) refer to Policy H4.3(3A); and

(a) [deleted] ~~refer to Policy H4.3(2);~~

(b) [deleted] ~~refer to Policy H4.3(4);~~

(c) [deleted] ~~refer to Policy H4.3(5); and~~

(d) [deleted] ~~refer to Policy H4.3(6);~~

(e) the extent to which overlooking of a neighbour's habitable room windows and private and/or communal outdoor living space can be minimised through the location and design of habitable room windows, balconies or terraces and the appropriate use of building and glazing setbacks and/or screening which is integrated part of the overall building design.

(13) for daylight infringements:

(a) refer to Policy H4.3(2); and

(aa) refer to Policy H4.3(3A).

(b) [deleted] ~~refer to Policy H4.3(4); and~~

(c) [deleted] ~~refer to Policy H4.3(5).~~

(14) for outdoor living space infringements:

(a) refer to Policy H4.3(2);

(aa) refer to Policy H4.3(3A); and

(b) [deleted] ~~refer to Policy H4.3(4);~~

(c) [deleted] ~~refer to Policy H4.3(5); and~~

(d) [deleted] ~~refer to Policy H4.3(6).~~

(e) the extent to which dwellings provide private open space and communal open space that is useable, accessible from each dwelling and an inviting space which encourages occupants to spend time there; and

(f) where private outdoor living space requirements cannot be met, the extent to which residential developments provide communal outdoor living space that:

(i) is located in a communally accessible location;

(ii) is of a size and shape that is comparable or better than the area of the infringement;

(iii) is free from buildings, parking spaces, servicing and manoeuvring areas;

(iv) is located to optimise sunlight and daylight access;

(v) may be split into locations within a development that achieves sufficient size and shape and is accessible for residents.

(14A) For windows to street, private vehicle access and primary pedestrian access infringements:

(a) refer to Policy H4.3(3A); and

(b) the extent to which the glazing:

(i) allows views to the street and/or vehicle access and primary pedestrian access to ensure passive surveillance; and

(ii) provides a good standard of privacy for occupants.

(15) for front, side and rear fences and walls infringements:

(a) refer to Policy H4.3(2);

(aa) refer to Policy H4.3(3A).

(b) ~~refer to Policy H4.3(3); and~~

(c) ~~refer to Policy H4.3(4).~~

(16) for minimum dwelling size infringements:

(za) Policy H4.3(3A);

(zb) Policy H4.3(10); and

(a) ~~Policy H4.3(5)~~

(b) the extent to which each dwelling is designed to:

(i) provide simple and convenient internal access and circulation;

(ii) include adequate storage; and

(iii) be large enough to allow the use of typical furnishings that meet the needs of the intended occupants.

(17) for deep soil area and canopy tree infringements:

(a) refer to Policy H4.3(3A);

- (b) the extent to which the proposed deep soil area uses or adds to existing deep soil areas to support canopy trees.
- (18) for safety and privacy buffer from private vehicle access and primary pedestrian access infringements:
 - (a) refer to Policy H4.3(3A);
 - (b) the extent to which the buffer is:
 - (i) free of buildings, parking spaces, structures, servicing facilities and manoeuvring areas;
 - (ii) planted with suitable and low level plants.
- (19) for residential waste management infringements:
 - (a) refer to Policy H4.3(3A);
 - (b) refer to Policy H4.3(10);
 - (c) the extent to which sufficient space is provided for residential waste management including areas for storage and collection;
 - (d) whether storage areas are suitably located for ease of movements to collection points;
 - (e) the extent to which waste management storage areas are designed to minimise visibility from within the site, from the street and/or adjacent sites;
 - (f) where kerbside collection cannot meet the minimum 1m width, the extent to which the waste collection activity avoids adverse effects on the safe and efficient operation of the transport network;
 - (g) how the development intends to ensure the on-going management and maintenance of any communal residential waste management area; and
 - (h) whether waste storage areas are located outside windows or doors to bedrooms, living areas and outdoor living areas to avoid effects of odour and noise.
- (20) for Development within the Infrastructure – Combined Wastewater Network Control that does not comply with H4.6.21:
 - (a) whether servicing the development will have an adverse effect on the function and available capacity of the Combined Wastewater Network that the development will connect to; and
 - (b) whether servicing the development will have an adverse effect on the environment, such as the potential increase in frequency and volume of any wastewater overflows.

H4.9. Special information requirements

~~There are no special information requirements in this zone.~~

Landscape Plans as required by H4.6.10 Landscape area

- (1) A scaled landscape plan must be provided that contains landscaped areas and includes:
- (a) plant and tree species, number of each species to be planted and planting grades;
 - (b) canopy of existing trees to be retained;
 - (c) any area of grass; and
 - (d) any paths included in landscaped area.

Deep Soil Area and Canopy Tree

- (2) The deep soil area provided must be demonstrated on a scaled landscape plan that at a minimum identifies the following:
- (a) plant and tree species, number of each species to be planted and planting grades;
 - (b) location of existing trees to be retained;
 - (c) dimensions of individual mature tree canopy;
 - (d) any areas of grass; and
 - (e) minimum tree canopy dimensions are specified in Table H4.9(3) below.

Table H4.9(3) Minimum tree canopy dimensions

<u>Tree Size</u>	<u>Minimum mature tree height</u>	<u>Minimum mature canopy diameter</u>	<u>Minimum tree height above ground when planted</u>	<u>Indicative tree planting grade</u>
<u>Small</u>	<u>8m</u>	<u>6m</u>	<u>2m</u>	<u>120L</u>
<u>Medium</u>	<u>10m</u>	<u>8m</u>	<u>2.5m</u>	<u>160L</u>
<u>Large</u>	<u>15m</u>	<u>12m</u>	<u>3m</u>	<u>200L</u>

Residential waste management

- (3) Applications for where communal bins are proposed, must include calculations for required storage space as determined using the Auckland Council's Solid Waste Calculator (Standard H4.6.20(1)(b)).
- (4) When preparing the waste management and minimisation plan, applicants should refer to the Waste Management and Minimisation Bylaw 2019. The following information must be provided:

- (a) the frequency and location of waste collection or transportation; and
- (b) where communal bins are provided for collection, the method of waste segregation that will enable residents to separate dry recycling (glass, paper, plastic etc), food scraps and refuse from their designated bins into the appropriate communal bin for that waste type.

H5. Residential – Mixed Housing Urban Zone

H5.1. Zone description

The Residential – Mixed Housing Urban Zone is the most widespread residential zone covering most of urban Auckland. It is a reasonably high-intensity medium density residential zone enabling a greater intensity of development than previously provided for.

Over time, the appearance of neighbourhoods within this zone will change, with development typically up to three storeys in a variety of sizes and forms, including detached dwellings, terrace housing and low-rise apartments. This supports increasing the capacity and choice of housing within neighbourhoods as well as promoting walkable neighbourhoods, fostering a sense of community and increasing the vitality of centres.

Up to three dwellings are permitted as of right subject to compliance with the standards. This is to ensure a quality outcome for adjoining site and the neighbourhood, as well as residents within the development site.

Resource consent is required for four or more dwellings and for other specified buildings in order to:

- achieve the planned urban built character of the zone;
- achieve attractive and safe streets and public open spaces;
- manage the effects of development on adjoining neighbouring sites, including visual amenity, privacy and access to daylight and sunlight; ~~and~~

All residential development must comply with development standards to achieve high good quality on-site living liveable environments that are attractive, healthy and safe; meet the functional and operational needs of residents and emergency responders; and that contribute to climate resilience. Risks from natural hazards are not increased.

The resource consent requirements enable the design and layout of the development to be assessed; recognising that the need to achieve quality design is important as the scale of development increases.

H5.2. Objectives

- (1) Land in close proximity to Business – Metropolitan Centre Zone and the Business – Town Centre Zone, high-density residential areas and close to the public transport network is efficiently used for higher density residential living and to provide urban living that increases housing capacity and choice and access to public transport.
- (2) Development is in keeping with the neighbourhood's planned urban built medium density residential character of predominantly three-storey buildings, in a variety of forms and surrounded by open space.
- (3) Development provides quality built environments on site for residents, for residents on adjoining sites and to the street that are attractive, healthy and safe and meet the functional and operational needs of residents and emergency

~~responders, on-site residential amenity for residents and adjoining sites and the street.~~

- (4) Non-residential activities provide for the community's social, economic and cultural well-being, while being compatible with the scale and intensity of development anticipated by the zone so as to contribute to the amenity of the neighbourhood.
- (5) Development contributes to a built environment that is resilient to the effects of climate change with areas of deep soil and canopy tree planting, and landscape treatment that comprises natural grass, shrubs and trees that reduce urban heat island effects.
- (6) Development addresses the functional and operational requirements of the water supply, wastewater and stormwater networks to avoid adverse effects on the function and capacity of those networks.
- (7) Development addresses the functional and operational requirements of the local transport network for pedestrians, passenger transport, road users and cyclists.
- (8) Development does not adversely affect the values of adjoining water bodies including riparian, lakeside and coastal protection areas; nor increases natural hazard risks.

H5.3. Policies

- (1) Enable a variety of medium density housing types ~~at higher densities~~, including low-rise apartments and integrated residential development such as retirement villages.
- (2) Require the height, bulk, form and appearance of development and the provision of sufficient setbacks and landscaped areas to achieve an urban built character of predominantly three storeys, in a variety of forms.
- (3) ~~[Deleted] Encourage development to achieve attractive and safe streets and public open spaces including by:~~
 - ~~(a) providing for passive surveillance~~
 - ~~(b) optimising front yard landscaping~~
 - ~~(c) minimising visual dominance of garage doors.~~
- (3A) Require development to achieve a built form that contributes to quality built environment outcomes by:
 - (a) maintaining privacy, outlook, daylight and sunlight access and reducing over-heating to provide for the health and safety of residents on-site;

- (b) providing for residents' safety and privacy while enabling passive surveillance on the street, private vehicle access and pedestrian access;
 - (c) minimising visual dominance effects to adjoining sites;
 - (d) maintaining a good level of privacy, and sunlight and daylight access for adjoining sites;
 - (e) minimising visual dominance effects of carparking and garage doors to streets and private accessways;
 - (f) minimising adverse effects on the natural environment, including restricting maximum impervious area on a site to reduce the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated;
 - (g) requiring development to reduce the urban heat island effects of development and respond to climate change, by providing a deep soil area that enable the growth of canopy trees;
 - (h) requiring adequate landscaped areas that comprise natural grass, plants or trees to provide for quality living environments and create vegetated urban streetscape character;
 - (i) requiring outdoor living spaces that are functional in size, have access to sunlight, and are directly and conveniently accessible.
 - (j) designing practical and sufficient space for residential waste management;
 - (k) designing practical, functional and sufficient space for internal storage and living areas;
 - (l) designing attractive buildings when viewed from public open spaces and the street.
- (3B) Encourage development of four or more dwellings per site and non-residential activities to contribute to a safe and convenient local transport network for pedestrians, passenger transport, road users including cyclists.
- (3C) Require buildings to be setback from water bodies to maintain and protect environmental, open space, amenity values of riparian margins of lakes, streams and coastal areas and water quality and to provide protection from natural hazards.
- (3D) Restrict development in high hazard areas, and manage development in medium or low hazard areas to ensure natural hazard risk is tolerable or acceptable.

- (4) ~~[Deleted] Require the height, bulk and location of development to maintain a reasonable standard of sunlight access and privacy and to minimise visual dominance effects to adjoining sites.~~
- (5) ~~[Deleted] Require accommodation to be designed to meet day to day needs of residents by:~~
 - ~~(a) providing privacy and outlook; and~~
 - ~~(b) providing access to daylight and sunlight and providing the amenities necessary for those residents.~~
- (10) Recognise the functional and operational requirements of activities and development, including functional access for emergency responders.
- (6) ~~[Deleted] Encourage accommodation to have useable and accessible outdoor living space.~~
- (7) ~~[Deleted] Restrict the maximum impervious area on a site in order to manage the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated.~~
- (8) Provide for non-residential activities that:
 - (a) support the social, cultural and economic well-being of the community;
 - (b) are in keeping with the ~~with the~~ scale and intensity of development anticipated within the zone;
 - (c) avoid, remedy or mitigate adverse effects on residential amenity; and
 - (d) will not detract from the vitality of the Business – City Centre Zone, Business – Metro Centre Zone and Business – Town Centre Zone.
- (9) Enable more efficient use of larger sites by providing for integrated residential development.
- (11) Require development to remedy or mitigate adverse effects which may compromise the function and capacity of the water supply, wastewater and stormwater networks.
- (12) Require development on sites connected to the combined wastewater network as identified on the planning maps to demonstrate that there is sufficient capacity available in the combined wastewater network to enable servicing of the development without adverse effects which may compromise the function and capacity of the water supply network able to be managed.

H5.4. Activity table

Table H5.4.1 Activity table specifies the activity status of land use and development activities in the Residential – Mixed Housing Urban Zone pursuant to section 9(3) of the Resource Management Act 1991.

The purpose of land use activities H5.4.1 (A15), (A16), (A20), (A24) in the Residential – Mixed Housing Urban Zone includes managing development to ensure natural hazard risk is not increased.

Table H5.4.1 Activity table

Activity		Activity status	Standards to be complied with
Use			
(A1)	Activities not provided for	NC	
Residential			
(A2)	Camping grounds	D	
(A3)	Up to three dwellings per site	P	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls; <u>Standard H5.6.16 Minimum dwelling size; Standard H5.6.18 Windows to street, private vehicle access and primary pedestrian access; Standards H5.6.19 Deep soil area and canopy tree; Standard H5.6.20 Safety and privacy buffer from private vehicle access and primary pedestrian access; Standard H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control</u>
(A4)	Four or more dwellings per site	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; <u>Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor</u>

			<u>living space; Standard H5.6.15 Front, side and rear fences and walls; Standard H5.6.16 Minimum dwelling size; Standard H5.6.18 Windows to street, private vehicle access and primary pedestrian access; Standards H5.6.19 Deep soil area and canopy tree; Standard H5.6.20 Safety and privacy buffer from private vehicle access and primary pedestrian access; Standard H5.6.21 Residential waste management.</u>
(A5)	The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings	P	Standard H5.6.3 The conversion of a principal dwelling into a maximum of two dwellings; <u>Standard H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control</u>
(A6)	Home occupations	P	Standard H5.6.2 Home occupations
(A7)	Home occupations that do not meet Standard H5.6.2	D	
(A8)	Integrated residential development	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative 1 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; <u>Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls; Standard H5.6.16 Minimum dwelling size; Standard H5.6.18 Windows to street, private vehicle access and primary pedestrian access; Standard H5.6.19 Deep soil area and canopy tree; Standard H5.6.20 Safety and privacy buffer from private vehicle access and primary pedestrian access; Standard H5.6.21 Residential waste management.</u>
(A9)	Supported residential care accommodating up to 10 people per site inclusive of staff and residents	P	Standard H5.6.4 Building height; Standard H5.6.5 6 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard

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			H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls; <u>Standard H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control</u>
(A10)	Supported residential care accommodating greater than 10 people per site inclusive of staff and residents	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards
(A11)	Boarding houses accommodating up to 10 people per site inclusive of staff and residents	P	Standard H5.6.4 Building height; Standard H5.6.5 6 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls; <u>Standard H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control</u>
(A12)	Boarding houses accommodating greater than 10 people per site inclusive of staff and residents	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards
(A13)	Visitor accommodation accommodating up to 10 people per site inclusive of staff and visitors	P	Standard H5.6.4 Building height; Standard H5.6.5 6 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; and Standard H5.6.15 Front, side and rear fences and walls; <u>Standard H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control</u>
(A14)	Visitor accommodation accommodating greater than 10 people per site	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height

	inclusive of staff and visitors		in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards
Commerce			
(A15)	Dairies up to 100m ² gross floor area per site	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; and Standard H5.6.15 Front, side and rear fences and walls
(A16)	Restaurants and cafes up to 100m ² gross floor area per site	D	
(A17)	Service stations on arterial roads	D	
Community			
(A18)	Care centres accommodating up to 10 people per site excluding staff	P	Standard H5.6.4 Building height; Standard H5.6.5 6 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; and Standard H5.6.15 Front, side and rear fences and walls; <u>Standard H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control.</u>
(A19)	Care centres accommodating greater than 10 people per site excluding staff	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; and Standard H5.6.15 Front, side and rear fences and walls
(A20)	Community facilities	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in

H5 Residential – Mixed Housing Urban Zone

Immediate legal
effect under
s86B(3)(f) RMA

Immediate legal
effect under
s86B(3)(f) RMA

			relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; and Standard H5.6.15 Front, side and rear fences and walls
(A21)	Education facilities	D	
(A22)	Tertiary education facilities	D	
(A23)	Emergency services adjoining an arterial road	D	
(A24)	Healthcare facilities up to 200m ² gross floor area per site	RD	Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative h Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; and Standard H5.6.15 Front, side and rear fences and walls
(A25)	Healthcare facilities greater than 200m ² gross floor area per site	D	
(A26)	Veterinary clinics	D	
Rural			
(A27)	Grazing of livestock on sites greater than 2,000m ² net site area	P	
Mana Whenua			
(A28)	Marae complex	D	
Development			
(A29)	Demolition of buildings	P	
(A30)	[Deleted] Internal and external	[Deleted] P	[Deleted] Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to

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	alterations to buildings		boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls, Standard H5.6.16 Minimum dwelling size
(A30A)	<u>Internal and external alterations to buildings</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the building is designed to accommodate.</u>
(A31)	[Deleted] Accessory buildings	[Deleted] <u>P</u>	[Deleted] Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage
(A31A)	<u>Accessory buildings</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the building is designed to accommodate.</u>
(A32)	[Deleted] Additions to an existing dwelling	[Deleted] <u>P</u>	[Deleted] Standard H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8 Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls, Standard H5.6.16 Minimum dwelling size
(A32A)	<u>Additions to an existing dwelling</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the addition is designed to accommodate.</u>
(A33)	[Deleted] New buildings and additions to buildings which do not comply with H5.6.5. Height in relation to boundary, but comply with H5.6.6 Alternative	[Deleted] RD	[Deleted] H5.6.6 Alternative height in relation to boundary Note: Compliance with Standard H5.6.5 Height in relation to boundary is not required.

	height in relation to boundary		
(A34)	New buildings and additions to buildings	The same activity status and standards as applies to the land use activity that the new building or addition to a building is designed to accommodate	
(A35)	Rainwater Tank	P	Standard H5.6.17 Rainwater tanks
(A36)	<u>For development in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that comply with other standards but do not comply with Standard H5.6.22.</u>	<u>RD</u>	

Qualifying matter
as per Sch 3C, cls
8(1)(b) of the RMA

H5.5. Notification

(1) Any application for resource consent for the following activities will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991:

- (a) four or more dwellings per site that comply with all of the standards listed in Table H5.4.1 Activity table;
- (b) an integrated residential development that complies with all of the standards listed in Table H5.4.1 Activity table;
- (c) ~~[Deleted] New buildings and additions to buildings which do not comply with H5.6.5 Height in relation to boundary, but comply with H5.6.6 Alternative height in relation to boundary;~~
- (d) development which does not comply with H5.6.15 (1)(a) Front, side and rear fences and walls; and
- (e) development which does not comply with H5.6.16 Minimum dwelling size.

(2) Any application for resource consent for an activity listed in Table H5.4.1 Activity table and which is not listed in H5.5(1) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.

- (3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in Rule [C1.13\(4\)](#).

H5.6. Standards

H5.6.1. Activities listed in Table H5.4.1 Activity table

- (1) Activities and buildings containing activities listed in Table H5.4.1 Activity table must comply with the standards listed in the column in Table H5.4.1 called Standards to be complied with.

H5.6.2. Home occupations

Purpose: to enable people to work from home at a scale that the residential character and amenity is maintained.

- (1) A home occupation must comply with all the following standards:
- (a) at least one person engaged in the home occupation must use the dwelling on the site as their principal place of residence;
 - (b) no more than two people who do not use the dwelling as their principal place of residence may work in the home occupation;
 - (c) no more than four people in total may work in the home occupation;
 - (d) the sale of goods or services from the home occupation that requires customers to come to the site and the delivery of goods to and from the site may not occur before 7am or after 7pm;
 - (e) car trips to and from the home occupation activity must not exceed 20 per day;
 - (f) heavy vehicle trips must not exceed two per week;
 - (g) no more than one commercial vehicle associated with the home occupation may be on site at any one time;
 - (h) storage for rubbish and recycling associated with the home occupation must be provided on site and screened from public view;
 - (i) materials or goods manufactured, serviced or repaired in the home occupation must be stored and worked on within a building on the same site; and
 - (j) goods sold from the home occupation must be:
 - (i) goods produced on site; or
 - (ii) goods that are primarily ordered by mail or electronic transaction and redistributed by post or courier; or

- (iii) goods ancillary and related to a service provided by the home occupation.

H5.6.3. The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings

Purpose: to enable a dwelling existing as at 30 September 2013 to be converted into a maximum of two dwellings and to provide for sufficient outdoor living space for each of the dwellings.

- (1) Where a principal dwelling existing as at 30 September 2013 is proposed to be converted into a maximum of two dwellings each dwelling must have an outdoor living space that is:

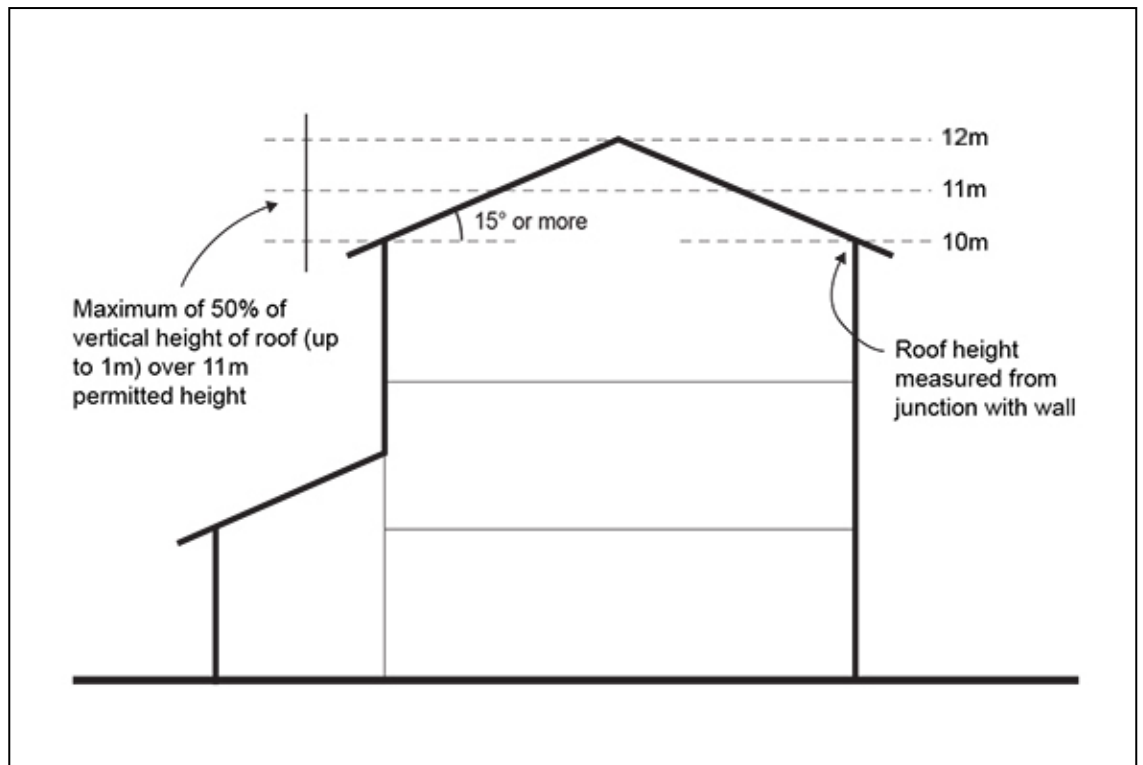
- (a) at least 5m² for a studio or one-bedroom dwelling and 8m² for a two or more bedroom dwelling; and
- (b) at least 1.8m in depth; and
- (c) directly accessible from the dwelling.

H5.6.4. Building height

Purpose: to manage the height of buildings to:

- achieve the planned urban built character of predominantly three storeys;
 - minimise visual dominance effects;
 - maintain a reasonable standard of residential amenity for adjoining sites; and
 - provide some flexibility to enable variety in roof forms.
- (1) Buildings must not exceed 11m in height, except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more, as shown in Figure H5.6.4.1 Building height in the Residential – Mixed Housing Urban Zone below.

Figure H5.6.4.1 Building height in the Residential – Mixed Housing Urban Zone

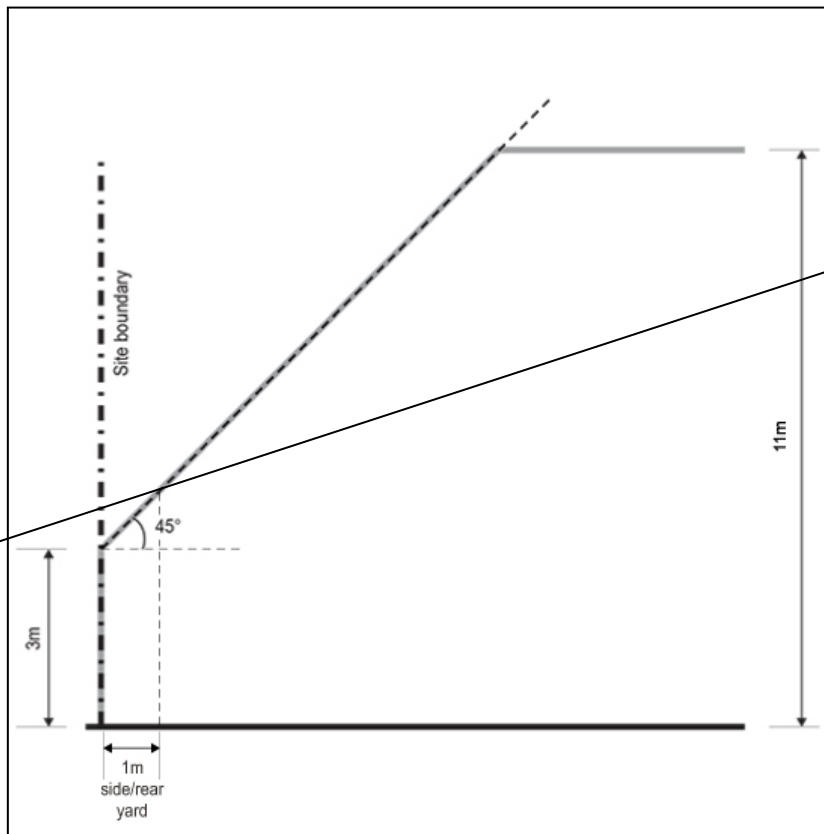


H5.6.5. ~~[Deleted]~~ Height in relation to boundary

~~Purpose: to manage the height and bulk of buildings at boundaries to maintain a reasonable level of sunlight access and minimise adverse visual dominance effects to immediate neighbours.~~

- ~~(1) Buildings must not project beyond a 45 degree recession plane measured from a point 3m vertically above ground level along side and rear boundaries, as shown in Figure H5.6.5.1 Height in relation to boundary below.~~

Figure H5. 6.5.1 Height in relation to boundary



(2) ~~Standard H5.6.5(1) above does not apply to a boundary, or part of a boundary, adjoining any of the following:~~

~~(a) a Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business – Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone; or~~

~~(b) sites within the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone:~~

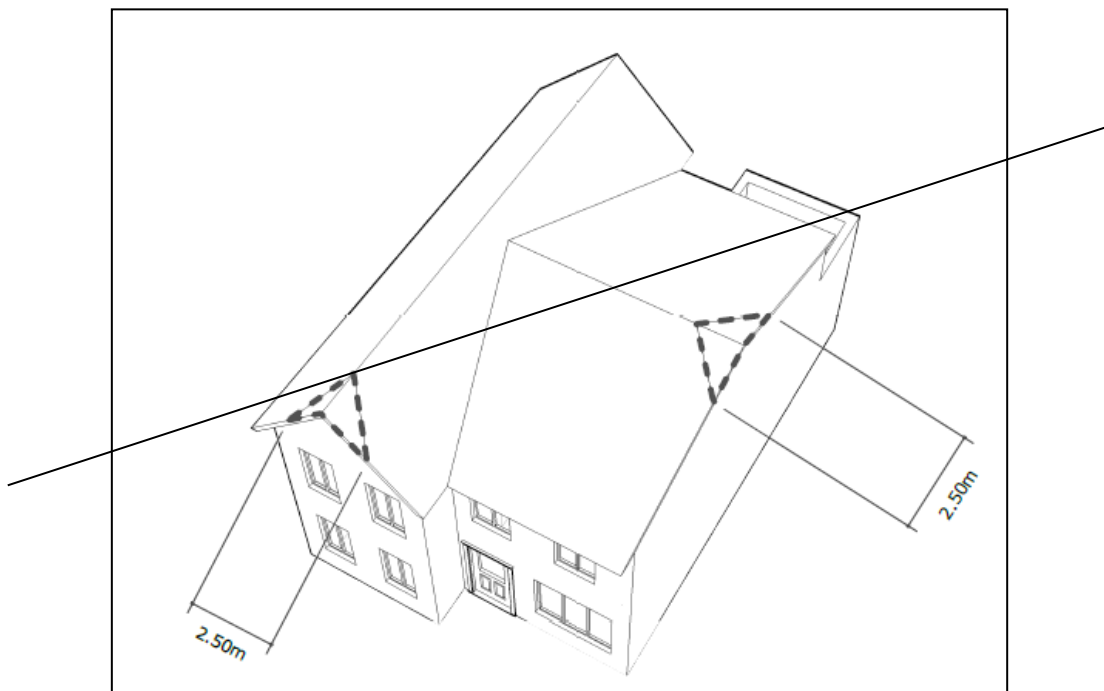
~~(i) that are greater than 2000m²;~~

~~(ii) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and~~

~~(iii) Where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.~~

- ~~(3) Standard H5.6.5(1) above does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.~~
- ~~(4) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard H5.6.5(1) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.~~
- ~~(5) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:~~
- ~~(a) no greater than 1.5m² in area and no greater than 1m in height; and~~
 - ~~(b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H5.6.5.2 Exceptions for gable ends and dormers and roof projections below.~~

Figure H5.6.5.2 Exceptions for gable ends and dormers and roof projections



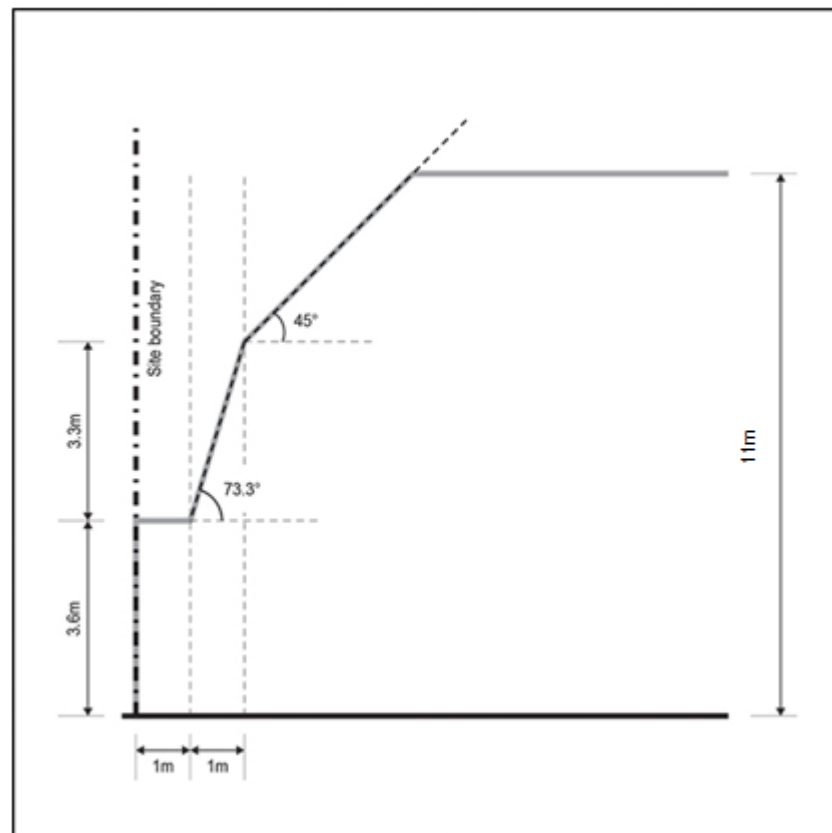
- ~~(6) No more than two gable end, dormer or roof projections are allowed for every 6m length of site boundary.~~
- ~~(7) The height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.~~

H5.6.6. Alternative ~~h~~ Height in relation to boundary

Purpose: to enable the efficient use of the site by providing design flexibility at upper floors of a building close to the street frontage, while maintaining a reasonable level of sunlight access and minimising overlooking and privacy effects to immediate neighbours.

- (1) ~~[Deleted] This standard is an alternative to the permitted Standard H5.6.5 Height in relation to boundary and applies to development that is within 20m of the site frontage.~~
- (2) Any buildings or parts of buildings ~~within 20m of the site frontage~~ must not exceed a height of 3.6m measured vertically above ground level at side and rear boundaries. Thereafter, buildings must be set back 1m and then 0.3m for every additional metre in height (73.3 degrees) up to 6.9m and then 1m for every additional metre in height (45 degrees) as shown in Figure H5.6.6.1 ~~Alternative h~~ Height in relation to boundary below.

Figure H5.6.6.1 ~~Alternative h~~ Height in relation to boundary

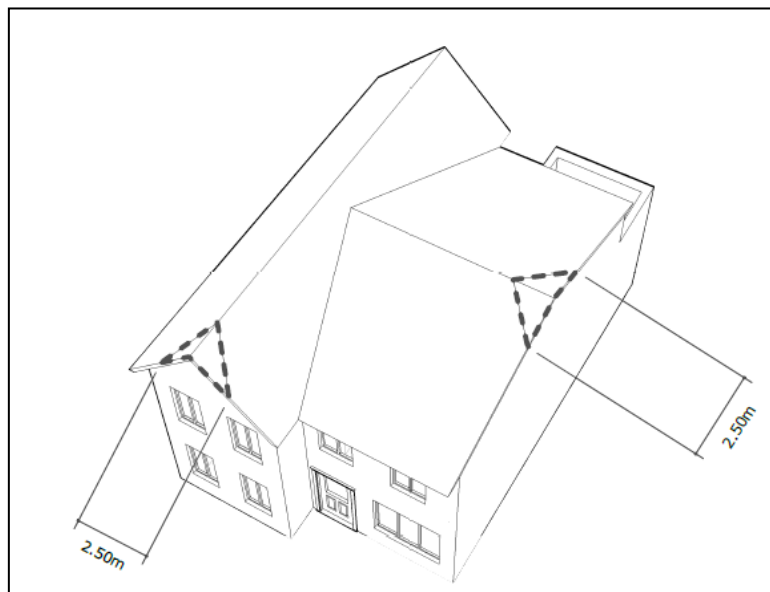


- (3) Standard H5.6.6(1)(2) above does not apply to a boundary, or part of a boundary, adjoining any of the following:
- (a) a Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business – Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone; or
 - (b) sites within the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active

Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone:

- (i) that are greater than 2000m²;
 - (i) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and
 - (ii) where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.
- (4) Standard H5.6. 6(1) does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.
- (5) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard H5.6.6(2) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.
- (6) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
- (a) no greater than 1.5m² in area and no greater than 1m in height; and
 - (b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H5.6.6.2 Exceptions for gable ends, dormers and roof projections and dormers below.

Figure H5.6.6.2 Exceptions for gable ends, dormers and roof projections and dormers



- (7) No more than two gable end, dormer or roof projections are allowed for every 6m length of site boundary.
- (8) The alternative height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.

H5.6.7. Height in relation to boundary adjoining lower intensity zones

Purpose: to manage the height and bulk of buildings at boundaries to maintain a reasonable level of sunlight access and minimise visual dominance effects to immediate neighbours within lower intensity zones and small public open spaces.

- (1) Where a site in the Residential – Mixed Housing Urban Zone adjoins:
 - (a) a site in the Residential – Single House Zone; or
 - (b) a site in the Residential – Mixed Housing Suburban Zone; or
 - (c) sites less than 2,000m² in the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open – Space Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone;

then buildings must not project beyond a 45 degree recession plane measured from a point 2.5m vertically above ground level along the boundary of the site in the Residential – Mixed Housing Urban Zone with the zone listed in Standard H5.6.7(1)(a) – (c) above.

- (2) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard H5.6.7(1) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.
- (3) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
 - (i) no greater than 1.5m² in area and no greater than 1m in height; and
 - (ii) no greater than 2.5m cumulatively in length measured along the edge of the roof.

H5.6.8. Yards

Purpose:

- to create an urban streetscape character and provide sufficient space for landscaping within the front yard;
- to maintain a reasonable standard of residential amenity for adjoining sites;

- to ensure buildings are adequately set back from lakes, streams and the coastal edge to maintain water quality and provide protection from natural hazards; and
 - to enable buildings and services on the site or adjoining sites to be adequately maintained.
- (1) A building or parts of a building must be set back from the relevant boundary by the minimum depth listed in Table H5.6.8.1 Yards below.

Table H5.6.8.1 Yards

Yard	Minimum depth
Front	2.5m
Side	1m
Rear	1m
Riparian	10m from the edge of all other permanent and intermittent streams
Lakeside	30m
Coastal protection yard	10m, or as otherwise specified in Appendix 6 Coastal protection yard

- (2) Standard H5.6.8(1) does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.

Note 1

Emergency responder access requirements are further controlled by the Building Code. Plan users should refer to the Building Code to ensure compliance can be achieved at building consent stage. Granting of a resource consent does not imply that waivers of Building Code requirements will be granted. Fire and Emergency New Zealand publishes guidance in the context of the Building Code requirements.

H5.6.9. Maximum impervious area

Purpose:

- to manage the amount of stormwater runoff generated by a development, particularly in relation to the capacity of the stormwater network and potential flood risks;
- to support the functioning of riparian yards, lakeside yards and coastal yards and water quality and ecology;
- to reinforce the building coverage and landscaped area standards;
- to limit paved areas on a site to improve the site's appearance and cumulatively maintain amenity values in a neighbourhood.

- (1) The maximum impervious area must not exceed 60 per cent of site area.
- (2) The maximum impervious area within a riparian yard, a lakeside yard or a coastal protection yard must not exceed 10 per cent of the riparian yard, the lakeside yard or the coastal protection yard area.

H5.6.10. Building coverage

Purpose: to manage the extent of buildings on a site to achieve the planned urban character of buildings surrounded by open space.

- (1) The maximum building coverage must not exceed 45 per cent of the net site area.

H5.6.11. Landscaped area

Purpose:

- to provide for quality living environments consistent with the planned urban built character of buildings surrounded by ~~open space~~ vegetation that contributes to a reduction in urban heat island effects of development and responds to climate change; and
- to create a ~~landscaped~~ vegetated urban streetscape character within the zone.

- (1) The minimum landscaped area must be at least 35 per cent of the net site area.
- (2) At least 50 per cent of the area of the front yard must comprise landscaped area.

H5.6.12. Outlook space

Purpose:

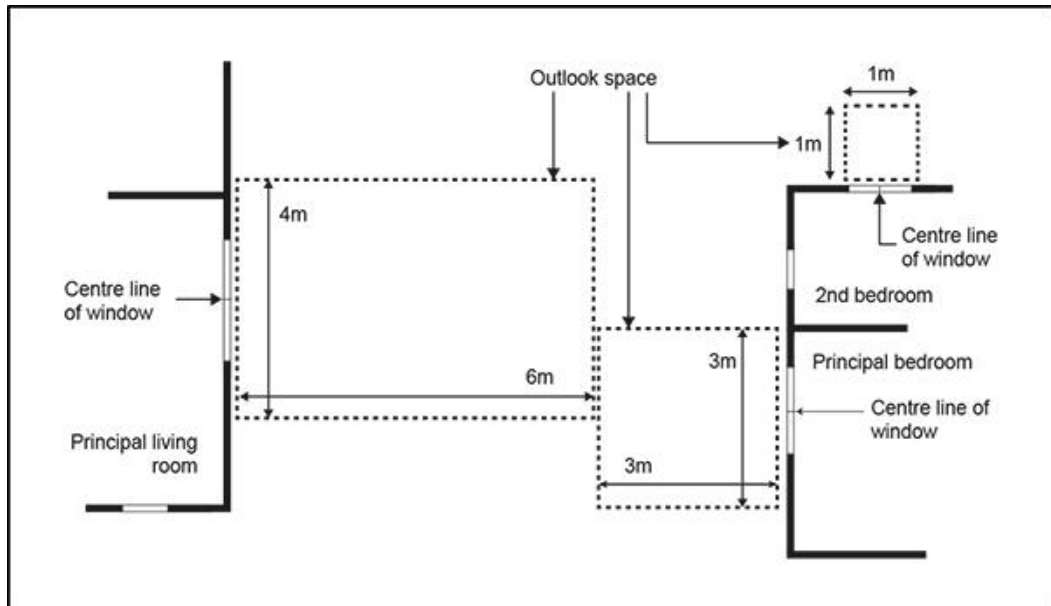
- to ensure a reasonable standard of visual privacy between habitable rooms of different buildings, on the same or adjacent sites; and
 - in combination with the daylight standard, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space.
- (1) An outlook space must be provided from the face of a building containing windows to a habitable room. Where the room has two or more external faces with windows the outlook space must be provided from the face with the largest area of glazing.
 - (2) The minimum dimensions for a required outlook space are as follows:
 - (a) a principal living room of a dwelling or main living and dining area within a boarding house or supported residential care must have a outlook space with a minimum dimension of:

- (i) 6m in depth and 4m in width as shown in Figure H5.6.12.1 Required outlook space; or

- (ii) where the principal living room outlook is on the ground floor and is defined by a boundary fence, outlook depth may be reduced to 5m.
 - (b) a principal bedroom of a dwelling or a bedroom within a boarding house or supported residential care unit must have an outlook space with a minimum dimension of 3m in depth and 3m in width; and
 - (c) all other habitable rooms must have an outlook space with a minimum dimension of 1m in depth and 1m in width.
- (3) The depth of the outlook space is measured at right angles to and horizontal from the window to which it applies.
- (4) The width of the outlook space is measured from:
- (a) the centre point of the largest window on the building face to which it applies where outlook depth is reduced to 5m as provided for under H5.6.12(2)(a)(ii) above; or
 - (b) the centre line of the façade of the largest window or balcony edge whichever is closer to the boundary or opposing building.
- (5) The height of the outlook space is the same as the floor height, measured from floor to ceiling, of the building face to which the standard applies.
- (6) Outlook spaces may be:
- (a) over parking spaces, vehicle access or manoeuvring areas within the site;
 - (b) over a public street; or
 - (c) other public open space.
- (6A) Where the outlook space is from a ground floor principal living room, it must not be over parking spaces, vehicle access or manoeuvring areas and H5.6.12(6)(a) does not apply.
- (7) Outlook spaces required from different rooms within the same building may overlap.
- (8) Outlook spaces may overlap where they are on the same wall plane.
- (9) Outlook spaces must:
- (a) be clear and unobstructed by buildings; ~~and~~
 - (b) not extend over adjacent sites, except for where the outlook space is over a public street or public open space as outlined in H5.6.12(6) above; and

- (c) not extend over an outlook spaces or outdoor living space required by another dwelling.

Figure H5.6.12.1 Required outlook space



H5.6.13. Daylight

Purpose:

- to ensure adequate daylight for living areas and bedrooms in dwellings, supported residential care and boarding houses; and
 - in combination with the outlook standard, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space.
- (1) Where the proposed building and/or opposite building contains principal living room or bedroom windows in a dwelling, or main living/dining area or bedroom windows in supported residential care and boarding houses, then:
- (a) that part of a building higher than 3m opposite buildings within the same site is limited in height to twice the horizontal distance between the two buildings for a length defined by a 55 degree arc from the centre of the window. The arc may be swung to within 35 degrees of the plane of the wall containing the window as shown in Figure H5.6.13.2 Required setbacks for daylight below.

Refer to Table H5.6.13.1 Maximum height of the part of a building within a site facing a principal living room or bedroom window within the same site; Figure H5.6.13.1 Required setbacks for daylight and Figure H5.6.13.2 Required setbacks for daylight below.

- (2) Where the principal living room, main living/dining area or bedroom has two or more external faces with windows, Standard H5.6.13(1) above will apply to the largest window.
- (3) Where the window is above ground level, the height restriction is calculated from the floor level of the room containing the window.
- (4) Standard H5.6.13(1), (2) and (3) does not apply to development opposite the first 5m of a building which faces the street, measured from the front corner of the building.

Table H5.6.13.1 Maximum height of that part of a building within a site facing a principal living room or bedroom window within the same site

Distance of the building from the largest principal living room, living/dining room or bedroom window (x)	Maximum height of the defined portion of wall opposite an identified window	Length of wall restricted if 55 degree arc is perpendicular to window (y) (rounded)
1.0m	2.0m	1.0m
1.5m	3.0m	1.5m
2.0m	4.0m	2.0m
2.5m	5.0m	2.5m
2.7m	5.4m	2.7m
3.0m	6.0m	3.0m
3.5m	7.0m	3.5m
4.0m	8.0m	4.0m
4.5m	9.0m	4.5m
5.0m	10.0m	5.0m
5.5m	11.0m	5.5m
6.0m	12.0m	6.0m

Figure H5.6.13.1 Required setbacks for daylight

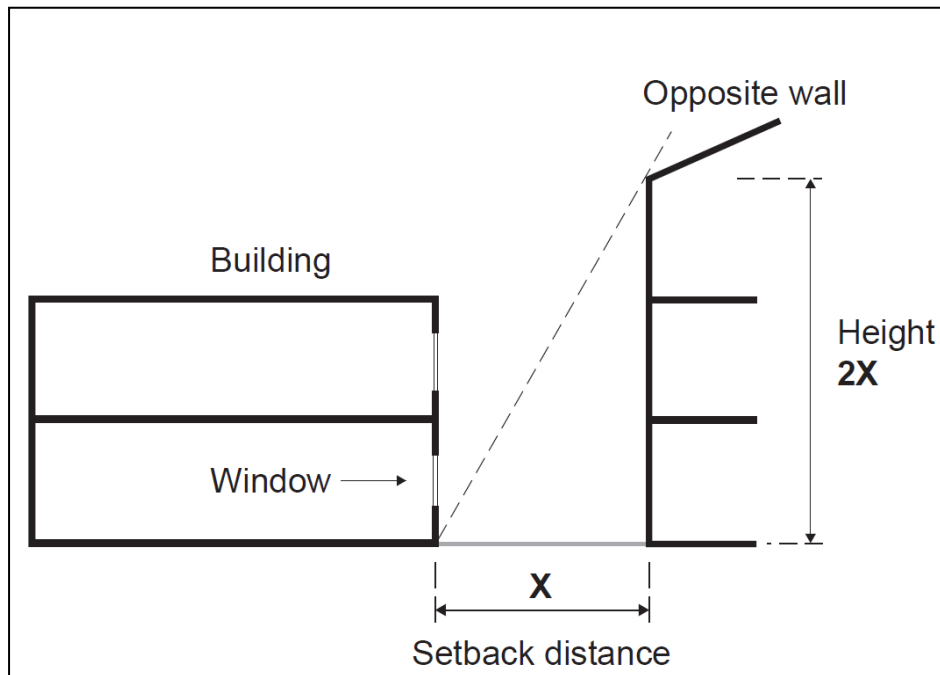
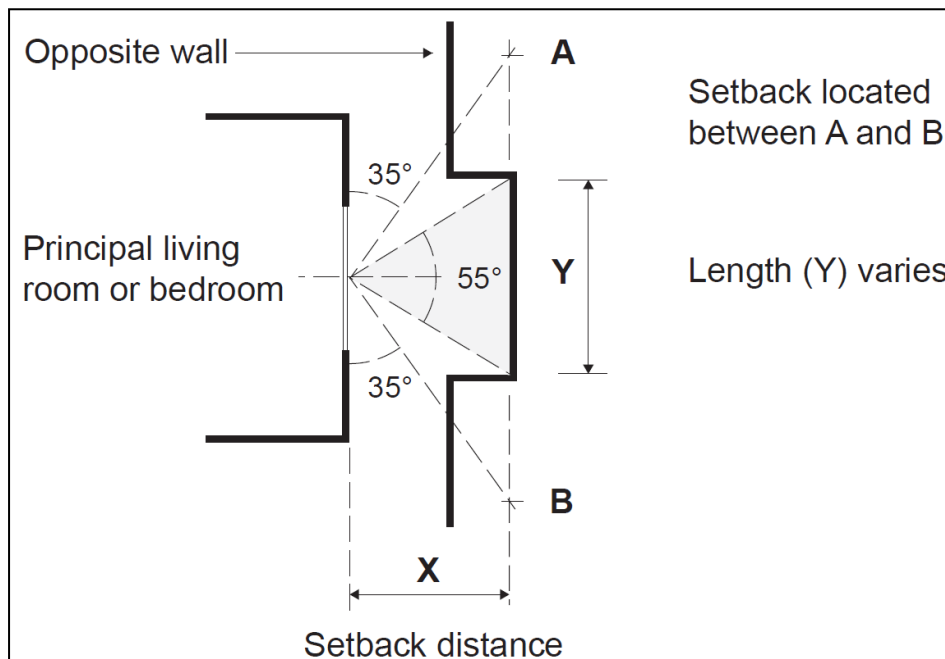


Figure H5.6.13.2 Required setbacks for daylight



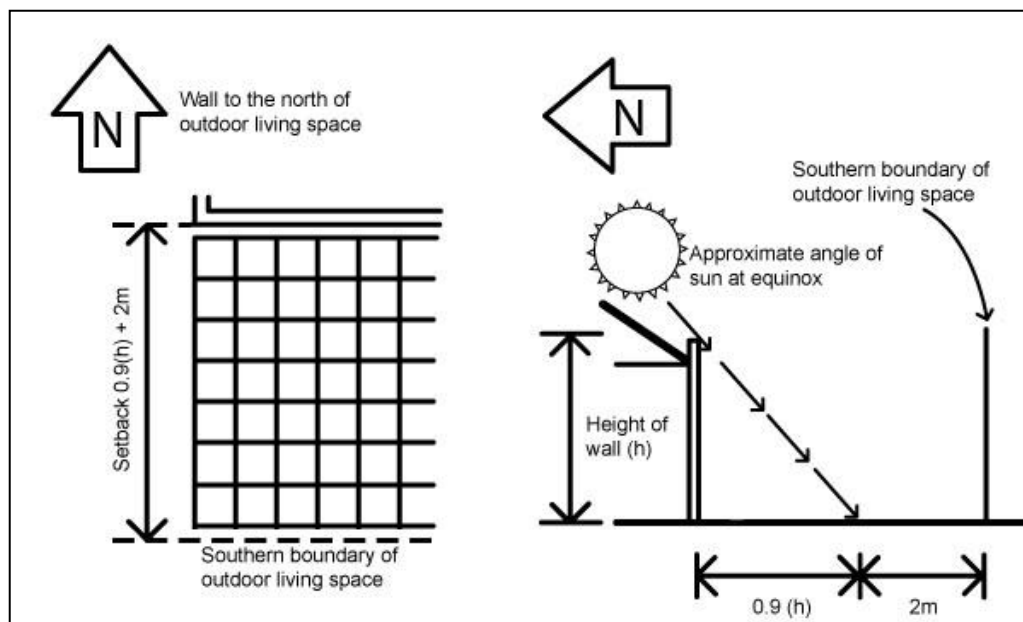
H5.6.14. Outdoor living space

Purpose: to provide dwellings, supported residential care and boarding houses with outdoor living space that is of a functional size and dimension, has access to sunlight, is separated from vehicle access and manoeuvring areas, and ensure: is accessible from the dwelling.

- private outdoor living spaces are directly accessible from the principal living room, dining room or kitchen;
 - for development with 20 or more dwellings, communal outdoor living spaces are conveniently accessible for all occupants.
- (1) A dwelling, supported residential care or boarding house at ground floor level, must have an private outdoor living space that is at least 20m² that comprises ground floor and/or balcony/roof terrace space that:
- (a) where located at ground level has no dimension less than 4m and has a gradient not exceeding 1 in 20; and/or
 - (b) where provided in the form of balcony, patio or roof terrace is at least 5m² and has a minimum dimension of 1.8m; and
 - (c) is accessible from the dwelling, supported residential care unit or boarding house; and
 - (d) is free of buildings, parking spaces, servicing and manoeuvring areas.
- (2) A dwelling, supported residential care or boarding house located above ground floor level must have an private outdoor living space in the form of a balcony, patio or roof terrace that:
- (a) is at least 5m² for studio and one-bedroom dwellings and has a minimum dimension of 1.8m; or
 - (b) is at least 8m² for two or more bedroom dwellings and has a minimum dimension of 1.8m; and
 - (c) is directly accessible from the principal living room, dining room or kitchen of a dwelling, supported residential care unit or boarding house.
 - (d) except that, a balcony or roof terrace is not required where the net internal floor area of a dwelling is at least 35m² for a studio and 50m² for a dwelling with one or more bedrooms.
- (3) Where private outdoor living space required by Standard H5.6.14(1) or Standard H5.6.14(2) above is provided at ground level, and is located south of any building located on the same site, the southern boundary of that space must be separated from any wall or building by at least 2m + 0.9(h), where (h) is the height of the wall or building as shown in the Figure H5.6.14.1 Location of outdoor living space below. For the purpose of this standard south is defined as between 135 and 225 degrees.
- (4) In addition to H5.6.14(1) and H5.6.14(2) above, developments of 20 or more dwellings, including integrated residential development of 20 or more dwellings, must provide a communal outdoor living space that:

- (a) is located in a communally accessible location;
- (b) is at least 10m² for every five dwellings it serves;
- (c) is a minimum dimension of 4m;
- (d) free of buildings, parking spaces and servicing and manoeuvring areas;
- (e) for at least 20m² of the communal living space must receive a minimum of 3 hours of sunlight per day between the hours of 9am – 4pm on 21 June;
- (f) has a gradient not exceeding 1 in 20; and
- (g) may be split into no more than two outdoor communal living spaces per development.

Figure H5.6.14.1 Location of private outdoor living space



Note 1

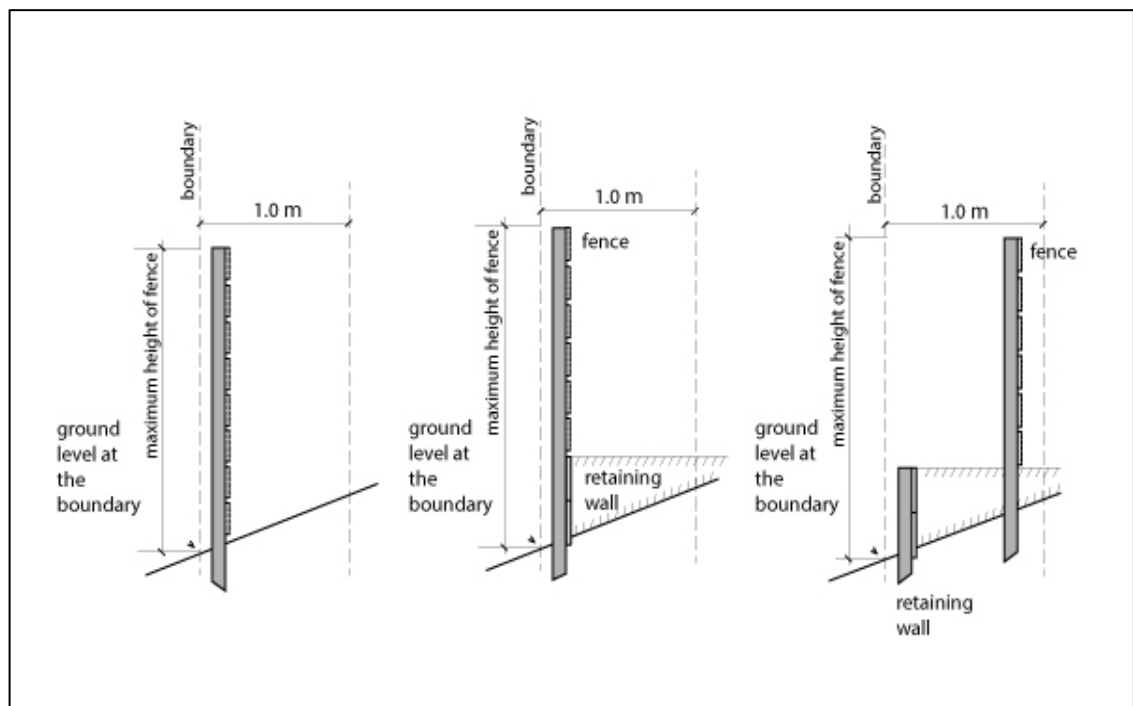
Emergency responder access requirements are further controlled by the Building Code. Plan users should refer to the Building Code to ensure compliance can be achieved at building consent stage. Granting of a resource consent does not imply that waivers of Building Code requirements will be granted. Fire and Emergency New Zealand publishes guidance in the context of the Building Code requirements.

H5.6.15. Front, side and rear fences and walls

Purpose: to enable fences and walls to be constructed on a front, side or rear boundary or within a front, side, rear, riparian, coastal protection or lakeside yard to a height sufficient to:

- provide privacy for dwellings while enabling opportunities for passive surveillance of the street or adjoining public place
 - minimise visual dominance effects to immediate neighbours and the street or adjoining public place.
- (1) Fences or walls or a combination of these structures (whether separate or joined together) must not exceed the height specified below, measured from the ground level at the boundary:
- (a) Within the front yard, either:
- (i) 1.4m in height, or
 - (ii) 1.8m in height for no more than 50 per cent of the site frontage and 1.4m for the remainder, or
 - (iii) 1.8m in height if the fence is at least 50 per cent visually open as viewed perpendicular to the front boundary.
- (b) Within the side, rear, coastal protection, lakeside or riparian yards: 2m.

Figure H.5.6.15.1 Measurement of fence height



H5.6.16. Minimum dwelling size

Purpose: to ensure dwellings are functional and of a sufficient size to provide for the day to day needs of residents, based on the number of occupants the dwelling is designed to accommodate.

- (1) Dwellings must have a minimum net internal floor area as follows:
- (a) 30m² for studio dwellings.

- (b) 45m² for one or more bedroom dwellings.

H5.6.17. Rainwater tanks

Purpose: To enable rainwater tank installation and maintain amenity values.

- (1) Rainwater tanks must not be located:
- (a) in a riparian, lakeside or coastal protection yard unless less than 1m in height, or wholly below ground level;
 - (b) in a front yard, unless they are at least 1.5m from the front boundary and are a maximum height of 1 m;
 - (c) forward of any street facing or private vehicle access building façade, unless they are at least 1.5m from the front boundary and are a maximum height of 1m;
 - (d) Clause (c) does not apply
 - (i) to sites with (or proposed to have) three or less dwellings;
 - (ii) to a rear service lane where the dwellings have frontage to a public street.
- (2) Rainwater tanks located within a required outlook area must be no higher than 1m.
- (3) Rainwater tanks located within the required 20m² outdoor living space with minimum dimensions of 4m (Rule H5.6.14(1)) must be installed wholly below ground level.
- (4) Rainwater tanks (excluding any pipework) must not exceed 3 m in height in a rear or side yard.
- (5) Any overflow from the rainwater tank must discharge to the existing authorised stormwater system for the site.

Note: If there is a new stormwater discharge or diversion created Chapter E8.6.2.1 and Building Act requirements must be complied with.

Note: Building Act regulations apply. A building consent may be required under the Building Act.

H5.6.18. Windows to street, private vehicle access and primary pedestrian access

Purpose: To provide for passive surveillance while maintaining privacy for residents and users.

- (1) Any dwelling and integrated residential development facing the street, public open spaces, public pedestrian accessways, cycleways or private vehicle access

or primary pedestrian access, must have a minimum of 20 per cent of the relevant façade in glazing. This can be in the form of windows or doors.

(2) For the purposes of H5.6.18(1) above, glazing:

- (a) may be in the form of windows or doors;
- (b) may include joinery between and around window panes (excluding window frames); and
- (c) excludes any roof space enclosed by gable ends.

(3) For the purposes of H5.6.18(1) above, the relevant façade is that façade less than 45 degrees from the relevant boundary.

H5.6.19. Deep soil area and canopy tree

Purpose: To build resilience to climate change effects through provision of deep soil areas that support canopy trees, which assist in removing carbon, reducing urban heat island effects and enabling the infiltration of stormwater.

(1) Any site greater than 200m² must provide a deep soil area of a minimum of 10 per cent of the site area and canopy tree(s) that must comply with Table H5.6.18.1 Deep soil area and canopy tree requirements and Table H5.6.19.2 Minimum tree canopy dimensions below:

(2) Deep soil areas required by H5.6.19(1) may be provided in private and communal outdoor living spaces and landscaped areas.

(3) Trees required by H5.6.19(1) can be existing canopy trees or new canopy trees in accordance with Table H5.6.19.2 Minimum tree canopy dimensions below.

Table H5.6.19.1 Deep soil area and canopy tree requirements

<u>Site Area (prior to development or re-development)</u>	<u>Minimum area for each deep soil area</u>	<u>Minimum area dimension</u>	<u>Minimum canopy tree requirements</u>
<u>200m² – 600m²</u>	<u>20m²</u>	<u>2.5m</u>	<u>1 small canopy tree per 200m² of site</u>
<u>601m² – 1,500m²</u>	<u>30m²</u>	<u>3m</u>	<u>1 medium canopy tree per 300m² of site</u>
<u>1,501m² or more</u>	<u>50m²</u>	<u>4m</u>	<u>1 large canopy tree or 2 medium canopy trees per 500m² of site</u>

Table H5.6.19.2 Minimum tree canopy dimensions

<u>Tree size</u>	<u>Minimum mature tree height dimension</u>	<u>Minimum mature canopy diameter dimension</u>	<u>Minimum tree height above ground when planted</u>	<u>Indicative tree planting grade</u>
<u>Small</u>	<u>8m</u>	<u>6m</u>	<u>2m</u>	<u>120L</u>
<u>Medium</u>	<u>10m</u>	<u>8m</u>	<u>2.5m</u>	<u>160L</u>
<u>Large</u>	<u>15m</u>	<u>12m</u>	<u>3m</u>	<u>200L</u>

H5.6.20. Safety and privacy buffer from private vehicle access and primary pedestrian access

Purpose: to provide a reasonable standard of safety and privacy for ground floor dwellings located adjacent to private vehicle access and primary pedestrian access, while ensuring passive surveillance.

- (1) A minimum 1m buffer area must be provided between a dwelling and private vehicle access and primary pedestrian access to another dwelling.
- (2) The buffer area may contain:
 - (a) cantilevers such as awnings over front doors, footpaths to front doors, and vehicle crossings to garages.
 - (b) waste storage areas and heat pump or air conditioning external units.
- (3) The buffer area must be:
 - (a) free of buildings, parking spaces, servicing and manoeuvring areas.
 - (b) planted with shrubs and/or ground cover plants that will grow to no less than 400mm in height.
- (4) Where the buffer area is combined with areas subject to clear width / height requirements under Standard E27.6.6(4):
 - (a) Standard H4.6.20(2) above does not apply;
 - (b) any planting required by H4.6.20(3)(b) must comprise soft/frangible shrubs and/or ground cover plants that will grow to no less than 400mm and no more than 600mm in height; and
 - (c) the buffer area must comply with all the requirements in Standard E27.6.6(4).

H5.6.21. Residential waste management

Purpose: To provide accessible storage and collection space for waste bins for four or more dwellings and integrated residential developments.

- (1) On-site waste storage using individual or communal waste bins must be provided as follows:
 - (a) Where individual bins are used, a total storage space of 1.4m² per dwelling.
 - (b) Where communal bins are used, the total storage space provided must be calculated in accordance with the Auckland Council's Solid Waste Calculator.
 - (c) The location of bins must visually screened from within the site, from the street and/or adjacent sites.
- (2) Where kerbside collection is used, there must be kerbside space of at least 1m width per dwelling, contained within the road frontage of the site without impeding the public footpath.
- (3) Ten or more dwellings must provide a waste management and minimisation plan.
- (4) Where on-site collection of individual waste bins is used, there must be a space of at least 1m² per dwelling.

Qualifying matter
as per Sch 3C, cls
8(1)(b) of the RMA

H5.6.22 Development within the Infrastructure – Combined Wastewater Network Control

Purpose: to restrict development on a site in any area served by a combined wastewater network where public sewer separation has not occurred while enabling new development where separation is in progress and the new development can connect to a separated local stormwater pipe that is part of the public stormwater network.

- (1) Development on a site served by the combined wastewater network must be able to connect to an existing separated local stormwater pipe that is part of the public stormwater network; and
- (2) The wastewater network service provider has confirmed that there is sufficient capacity available in the combined wastewater network to service the proposed development.

H5.7. Assessment – controlled activities

There are no controlled activities in this zone.

H5.8. Assessment – restricted discretionary activities

H5.8.1. Matters of discretion

The Council will restrict its discretion to all of the following matters when assessing a restricted discretionary activity resource consent application:

(A1) For all restricted discretionary activities:

(a) The effects on the local transport network and on safe and convenient movement by pedestrians, public transport users and cyclists.

- (1) for supported residential care accommodating greater than 10 people per site inclusive of staff and residents; boarding houses accommodating greater than 10 people per site inclusive of staff and residents; visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors; dairies up to 100m² gross floor area per site; care centres accommodating greater than 10 people per site excluding staff; community facilities; and healthcare facilities up to 200m² gross floor area per site:

(a) infrastructure and servicing

(b) the effects on the neighbourhood character, residential amenity, safety, and the surrounding residential area from all of the following:

- (i) building intensity, scale, location, form and appearance;
- (ii) traffic;
- (iii) location and design of parking and access; and
- (iv) noise, lighting and hours of operation.

(2) for four or more dwellings per site:

(a) the effects on the neighbourhood character, residential amenity, safety, and the surrounding residential area from all of the following:

(i) building intensity, scale, and location, including:

A. the way in which buildings are orientated to the public streets, public open spaces, public pedestrian accessways, cycleways, private vehicle access and primary pedestrian accessways and adjoining sites; and

B. the extent to which the height, roof form and design of buildings respond to the local streetscape and the planned urban built character of the surrounding area.

(ia) building form and appearance including:

A. use of built elements such as materials, surface and architectural detailing and roof design to create visual interest;

- B. use of deep soil and/or outdoor living areas, modulation, architectural features, windows, doors and breaks in building length to minimise bulk and visual dominance;
 - C. whether design provides for the balance between resident's privacy and opportunities for passive surveillance of public streets, public pedestrian accessways, cycleways, private vehicle access and primary pedestrian access;
 - D. whether the design provides for privacy, and sunlight and daylight access for adjoining sites; and
 - E. the interface with an identified special character area or a scheduled historic heritage place.
 - (ib) the extent to which the functional, day to day needs, and health and safety of residents are provided for in terms of:
 - A. the size and dimensions of living areas relative to the likely occupancy levels of the dwellings;
 - B. internal storage;
 - C. residential waste management, including the kerbside and/or on-site capacity and accessibility for residential waste management; and
 - D. natural cross ventilation and minimises overheating within dwellings.
 - (ii) traffic; and
 - (iii) location and design of parking and access (including pedestrian access) and parking (if provided).
- (b) [Deleted] all of the following standards:
 - (i) Standard H5.6.9 Maximum impervious areas;
 - (ii) Standard H5.6.10 Building coverage;
 - (iii) Standard H5.6.11 Landscaped area;
 - (iv) Standard H5.6.12 Outlook space;
 - (v) Standard H5.6.13 Daylight;
 - (vi) Standard H5.6.14 Outdoor living space;
 - (vii) Standard H5.6.15 Front, side and rear fences and walls;
and
 - (viii) Standard H5.6.16 Minimum dwelling size
- (c) the effects on infrastructure and servicing including:
 - (i) existing infrastructure capacity.

(d) the provision of effective and efficient emergency responder servicing.

(e) adequacy of emergency responder access.

(3) for integrated residential development:

(a) the effects on the neighbourhood character, residential amenity, safety, and the surrounding residential area from all of the following:

(i) building ~~intensity~~, scale, location, form and appearance including the extent to which buildings as viewed from the street or public places are designed to minimise visual dominance effects taking into account:

A. the planned urban built character of the zone;

B. the location, orientation and design of development; and

C. the effect of the proposed height on the surrounding and neighbouring development.

(ii) traffic;

(iii) location and design of ~~parking and access~~ (including pedestrian access) and parking (if provided); and

(iv) noise, lighting and hours of operation.

(b) ~~[Deleted]~~ all of the following standards:

~~(i) Standard H5.6.9 Maximum impervious areas;~~

~~(ii) Standard H5.6.10 Building coverage;~~

~~(iii) Standard H5.6.11 Landscaped area;~~

~~(iv) Standard H5.6.12 Outlook space;~~

~~(v) Standard H5.6.13 Daylight;~~

~~(vi) Standard H5.6.14 Outdoor living space;~~

~~(vii) Standard H5.6.15 Front, side and rear fences and walls; and~~

~~(viii) Standard H5.6.16 Minimum dwelling size.~~

(c) the effects on infrastructure and servicing including:

(i) existing infrastructure capacity.

(d) the provision of effective and efficient emergency responder servicing.

(e) adequacy of emergency responder access.

(4) for buildings that do not comply with the relevant Standard(s) specified in Table H5.4.1 ~~H5.6.4 Building height; Standard H5.6.5 Height in relation to boundary; Standard H5.6.6 Alternative height in relation to boundary; Standard H5.6.7 Height in relation to boundary adjoining lower intensity zones; Standard H5.6.8~~

~~Yards; Standard H5.6.9 Maximum impervious areas; Standard H5.6.10 Building coverage; Standard H5.6.11 Landscaped area; Standard H5.6.12 Outlook space; Standard H5.6.13 Daylight; Standard H5.6.14 Outdoor living space; Standard H5.6.15 Front, side and rear fences and walls; Standard H5.6.16 Minimum dwelling size:~~

- (a) any policy which is relevant to the standard;
 - (b) the purpose of the standard;
 - (c) the effects of the infringement of the standard;
 - (d) the effects on the planned urban built character of the zone;
 - (e) the effects on the amenity of neighbouring sites;
 - (f) the effects of any special or unusual characteristic of the site which is relevant to the standard;
 - (g) the characteristics of the development;
 - (h) any other matters specifically listed for the standard; and
 - (i) where more than one standard will be infringed, the effects of all infringements.
- (5) ~~[Deleted] For new buildings and additions to buildings which do not comply with H5.6.5. Height in relation to boundary but comply with H5.6.6 Alternative height in relation to boundary:~~
- ~~(a) Sunlight access;~~
 - ~~(b) Attractiveness and safety of the street; and~~
 - ~~(c) Overlooking and Privacy.~~

(6) for developments in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that do not comply with Standard H5.6.22:

- (a) the effect of the development on the function and capacity of the Combined Wastewater Network; and
- (b) the effect on the environment from the lack of available capacity.

H5.8.2. Assessment criteria

The Council will consider the assessment criteria below for restricted discretionary activities to the extent relevant to the proposal:

(A1) For all restricted discretionary activities:

(a) The extent to which the development manages effects on the safe access and walkability on the immediate urban road environment and to public transport.

(1) for supported residential care accommodating greater than 10 people per site inclusive of staff and residents; boarding houses accommodating greater than 10 people per site inclusive of staff and residents; visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors; dairies up to 100m² gross floor area per site; care centres accommodating greater than 10 people per site excluding staff; community facilities; and healthcare facilities up to 200m² gross floor area per site:

(a) infrastructure and servicing:

(i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development, including adequate water for firefighting and this is confirmed by the service provider.

(ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.

(b) building intensity, scale, location, form and appearance:

(i) whether the intensity and scale of the activity, the building scale, location, form and appearance is attractive, healthy, safe and compatible with the character and residential amenity provided for within the zone and compatible with the surrounding residential area.

(c) traffic:

(i) whether the activity avoids or mitigates high levels of additional non-residential traffic on local roads.

(d) location and design of ~~parking and~~ access (including pedestrian and emergency responder access) and parking (if provided):

(i) whether adequate access is provided or required, including functional access for emergency responders.

(ii) whether car parking and accessways are integrated into the overall design of the development;

(iii) whether parking is located away from street frontages and screened from the street by buildings or landscaping; and

(iv) whether safe, well-lit pedestrian access is provided and integrated into the design of the development.

(e) noise, lighting and hours of operation:

- (i) whether noise and lighting and the hours of operation of the activity avoids, remedies or mitigates adverse effects on the residential amenity of surrounding properties, by:

- locating noisy activities away from neighbouring residential boundaries;
- screening or other design features; and
- controlling the hours of operation and operational measures

(2) for four or more dwellings on a site:

- (a) the extent to which ~~or whether~~ the development achieves the purpose outlined in the ~~following~~ relevant standards identified in Table H5.4.1 or what alternatives are provided that result in the same or a better outcome.:-

- (i) ~~[Deleted] Standard H5.6.9 Maximum impervious areas;~~
- (ii) ~~[Deleted] Standard H5.6.10 Building coverage;~~
- (iii) ~~[Deleted] Standard H5.6.11 Landscaped area;~~
- (iv) ~~[Deleted] Standard H5.6.12 Outlook space;~~
- (v) ~~[Deleted] Standard H5.6.13 Daylight;~~
- (vi) ~~[Deleted] Standard H5.6.14 Outdoor living space;~~
- (vii) ~~[Deleted] Standard H5.6.15 Front, side and rear fences and walls; and~~
- (viii) ~~[Deleted] Standard H5.6.16 Minimum dwelling size.~~

(aa) the extent to which the scale of the activity, the building location, form and appearance is of a high-quality and compatible with the planned urban built character and residential amenity of the surrounding residential area provided for within the zone.

(ab) the extent to which buildings are designed to manage building length and bulk and visual dominance by:

- (i) placing taller buildings on the street front;
- (ii) varying roof form and building height;
- (iii) using modulation and architectural features to break up the mass of buildings into visually distinct elements;
- (iv) using the proportions and arrangement of windows and doors to provide relief to building length and bulk;
- (v) using other building elements including materials, surface detailing, architectural detail and roof design to provide

- visual interest along building facades including blank side/party walls;
 - (vi) providing adequate breaks in long continuous buildings to minimise the appearance of length;
 - (vii) locating deep soil areas and/or communal outdoor spaces around and between buildings to provide space and soften the built form; and
 - (viii) designing balconies as an integral part of the building.
- (ac) the extent to which buildings use quality, durable and easily maintainable materials.
- (ad) the extent to which buildings adjoining or across the street from an identified special character area or a scheduled historic heritage place are designed to respect the prevailing character of the area or key historic heritage design and location elements of that place. New and contemporary interpretations in form and detail may be used.
- (ae) the extent to which building facades contribute positively to the visual amenity and safety of public streets, public open spaces, and private vehicle and pedestrian accessways by:
 - (i) having clearly defined fronts that provide passive surveillance from windows and balconies;
 - (ii) maximising doors, windows and balconies over all levels on the front façades whilst not impacting on the privacy of residents on adjoining sites;
 - (iii) maximising the number of dwellings on the site that directly front, align and orientate to public streets;
 - (iv) ground level dwellings closest to the street each have direct and clearly defined pedestrian access from the street in preference to a single building entrance;
 - (v) optimise landscaping in the front dwellings;
 - (vi) minimise the visual dominance of garage doors; and
 - (vii) where a site adjoins public open space, buildings include entrances, windows of habitable rooms and balconies facing the open space.
- (af) the extent to which site layout creates legible, visible attractive, safe and well-lit connections between dwellings and the street.
- (b) [Deleted] The extent to which the development contributes to a variety of housing types at higher densities in the zone and is in keeping with the neighbourhood's planned urban built character of predominantly

~~three-storey buildings (attached or detached) by limiting the height, bulk and form of the development and managing the design and appearance as well as providing sufficient setbacks and landscaped areas.~~

- (c) ~~[Deleted] The extent to which development achieves attractive and safe streets and public open space by:~~
- ~~(i) providing doors, windows and/or balconies facing the street and public open spaces~~
 - ~~(ii) minimising tall, visually impermeable fences~~
 - ~~(iii) designing large scale development (generally more than 15 dwellings) to provide for variations in building form and/or façade design as viewed from streets and public open spaces.~~
 - ~~(iv) optimising front yard landscaping~~
 - ~~(v) providing safe pedestrian access to buildings from the street~~
 - ~~(vi) minimising the visual dominance of garage doors, walkways or staircases to upper level dwellings, and carparking within buildings as viewed from streets or public open spaces~~
- (d) ~~[Deleted] The extent to which the height, bulk and location of the development maintains a reasonable standard of sunlight access and privacy and minimises visual dominance to adjoining sites;~~
- (e) ~~[Deleted] The extent to which dwellings:~~
- ~~(i) Orientate and locate windows to optimise privacy and encourage natural cross ventilation within the dwelling~~
 - ~~(ii) Optimise sunlight and daylight access based on orientation, function, window design and location, and depth of the dwelling floor space~~
 - ~~(iii) Provide secure and conveniently accessible storage for the number and type of occupants the dwelling is designed to accommodate.~~
 - ~~(iv) Provide the necessary waste collection and recycling facilities in locations conveniently accessible and screens from streets and public open spaces.~~
- (f) ~~[Deleted] The extent to which outdoor living space:~~
- ~~(i) Provides for access to sunlight~~
 - ~~(ii) Provides privacy between the outdoor living space of adjacent dwellings on the same site and between outdoor living space and the street.~~

~~(iii) When provided at ground level, is located on generally flat land or otherwise functional~~

~~(fa) refer to Policy H5.3(1);~~

~~(fb) refer to Policy H5.3(2);~~

~~(fc) refer to Policy H5.3(3A); and~~

~~(g) [Deleted] refer to Policy H5.3(7); and~~

(h) infrastructure and servicing:

(i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development including adequate water for firefighting and this is confirmed by the service provider.

(ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.

Sunlight access

(i) Whether sunlight access to the outdoor living space of an existing dwelling on a neighbouring site satisfies the following criterion:

Four hours of sunlight is retained between the hours of 9am – 4pm during the Equinox (22 September):

(i) over 75% of the existing outdoor living space where the area of the space is greater than the minimum required by Standard H5.6.4; or

(ii) over 100% of existing outdoor living space where the area of this space is equal to or less than the minimum required by Standard H5.6.14.

(i) In circumstances where sunlight access to the outdoor living space of an existing dwelling on a neighbouring site is less than the outcome referenced in H5.8.2(i):

(i) the extent to which there is any reduction in sunlight access as a consequence of the proposed development, beyond that enabled through compliance with Standard H5.6.6 Height in relation to boundary control; and

(ii) the extent to which the building affects the area and duration of sunlight access to the outdoor living space of an existing dwelling on a neighbouring site, taking into account site orientation, topography, vegetation and existing or consented development.

(k) the extent to which dwellings:

- (i) orientate and locate windows to optimise privacy within the dwelling and reduce overlooking of dwellings and their outdoor living space in the same or an adjoining site;
- (ii) are designed to reduce overheating through window size and orientation, natural cross ventilation, and external design elements to provide shading;
- (iii) optimise sunlight and daylight access based on orientation, function, window design and location, and depth of the dwelling floor space;
- (iv) provide practical, functional and sufficient space for internal storage and living areas for the number and type of occupants the dwelling is designed to accommodate; and
- (v) the necessary storage and waste collection and recycling facilities is provided in locations conveniently accessible and screened from streets and public open spaces.

(3) for integrated residential development:

(a) the extent to which or whether the development achieves the purpose outlined in the following relevant standards identified in Table H5.4.1 or what alternatives are provided that result in the same or a better outcome:

- (i) [Deleted] Standard H5.6.9 Maximum impervious areas;
- (ii) [Deleted] Standard H5.6.10 Building coverage;
- (iii) [Deleted] Standard H5.6.11 Landscaped area;
- (iv) [Deleted] Standard H5.6.12 Outlook space;
- (v) [Deleted] Standard H5.6.13 Daylight;
- (vi) [Deleted] Standard H5.6.14 Outdoor living space;
- (vii) [Deleted] Standard H5.6.15 Front, side and rear fences and walls; and
- (viii) [Deleted] Standard H5.6.16 Minimum dwelling size (excluding retirement villages).

(b) refer to Policy H5.3(1);

(c) refer to Policy H5.3(2);

(ca) refer to Policy H5.3(3A);

(d) [Deleted] refer to Policy H5.3(3);

(e) [Deleted] refer to Policy H5.3(4);

(f) [Deleted] refer to Policy H5.3(5);

- (g) ~~[Deleted] refer to Policy H5.3(6);~~
 - (h) ~~[Deleted] refer to Policy H5.3(7);~~
 - (i) refer to Policy H5.3(8);
 - (j) refer to Policy H5.3(9); and
 - (k) infrastructure and servicing:
 - (i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development including adequate water for firefighting this is confirmed by the service provider.
 - (ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.
- (4) for building height:
- (a) refer to Policy H5.3(2);
 - (b) ~~[Deleted] refer to Policy H5.3(4).~~
 - (c) refer to Policy H5.3(3A).
- (5) ~~[Deleted] For new buildings and additions to buildings which do not comply with H5.6.5. Height in relation to boundary, but comply with H5.6.6 Alternative height in relation to boundary:~~

Sunlight access

- ~~(a) Whether sunlight access to the outdoor living space of an existing dwelling on a neighbouring site satisfies the following criterion:
Four hours of sunlight is retained between the hours of 9am – 4pm during the Equinox (22 September):~~
 - ~~(i) over 75% of the existing outdoor living space where the area of the space is greater than the minimum required by Standard H5.6.4; or~~
 - ~~(ii) over 100% of existing outdoor living space where the area of this space is equal to or less than the minimum required by Standard H5.6.14.~~
- ~~(b) In circumstances where sunlight access to the outdoor living space of an existing dwelling on a neighbouring site is less than the outcome referenced in (a):~~
 - ~~(i) The extent to which there is any reduction in sunlight access as a consequence of the proposed development, beyond~~

~~that enabled through compliance with Standard H5.6.5
Height in relation to boundary control; and~~

- ~~(ii) The extent to which the building affects the area and duration of sunlight access to the outdoor living space of an existing dwelling on a neighbouring site, taking into account site orientation, topography, vegetation and existing or consented development.~~

Attractiveness and safety of the street

- ~~(c) The extent to which those parts of the buildings located closest to the front boundary achieve attractive and safe streets by:~~
 - ~~(i) providing doors, windows and balconies facing the street;~~
 - ~~(ii) optimising front yard landscaping;~~
 - ~~(iii) providing safe pedestrian access to buildings from the street; and~~
 - ~~(iv) minimising the visual dominance of garage doors as viewed from the street.~~

Overlooking and privacy

- ~~(d) The extent to which direct overlooking of a neighbour's habitable room windows and outdoor living space is minimised to maintain a reasonable standard of privacy, including through the design and location of habitable room windows, balconies or terraces, setbacks, or screening.~~

- (6) for height in relation to boundary infringements:

- (a) refer to Policy H5.3(2); and
- (aa) refer to Policy H5.3(3A).
- (b) [Deleted] refer to Policy H5.3(4); and
- (c) [Deleted] refer to Policy H5.3(5).

- (7) [Deleted] for alternative height in relation to boundary infringements:

- ~~(a) refer to Policy H5.3(2);~~
- ~~(b) refer to Policy H5.3(3)~~
- ~~(c) refer to Policy H5.3(4); and~~
- ~~(d) refer to Policy H5.3(5).~~

- (8) for height in relation to boundary adjoining lower intensity zones infringements:

- (a) refer to Policy H5.3(2); and

(aa) refer to Policy H5.3(3A).

(b) ~~[Deleted] refer to Policy H5.3(4); and~~

(c) ~~[Deleted] refer to Policy H5.3(5).~~

(9) for yards infringements:

(a) refer to Policy H5.3(2); and

(aa) refer to Policy H5.3(3A).

(b) ~~[Deleted] refer to Policy H5.3(4); and~~

(c) ~~[Deleted] refer to Policy H5.3(5).~~

(10) for maximum impervious areas infringements:

(a) ~~[Deleted] refer to Policy H5.3(7);~~

(aa) refer to Policy H5.3(3A).

(11) for building coverage infringements:

(a) refer to Policy H5.3(2); and

(aa) refer to Policy H5.3(3A); and

(b) ~~[Deleted] refer to Policy H5.3(4);~~

(c) whether the non-compliance is appropriate to the context taking into account:

(i) whether the balance of private open space and buildings is consistent with the existing and planned urban character anticipated for the zone;

(ii) the degree to which the balance of private open space and buildings reduces onsite amenity for residents, including the useability of outdoor living areas and functionality of landscape areas;

(iii) the proportion of the building scale in relation to the proportion of the site.

(12) for landscaped area infringements:

(a) ~~[Deleted] refer to Policy H5.3(2);~~

(aa) refer to Policy H5.3(3A);

(b) ~~[Deleted] refer to Policy H5.3(4); and~~

(c) ~~[Deleted] refer to Policy H5.3(5).~~

(d) The extent to which existing trees are retained.

(13) for outlook space infringements:

(a) ~~[Deleted] refer to Policy H5.3(2);~~

(aa) refer to Policy H5.3(3A); and

(b) ~~[Deleted] refer to Policy H5.3(4); and~~

(c) ~~[Deleted] refer to Policy H5.3(5).~~

(d) the extent to which overlooking of a neighbour's habitable room windows and private and/or communal outdoor living space can be minimised through the location and design of habitable room windows, balconies or terraces and the appropriate use of building and glazing setbacks and/or screening which is integrated part of the overall building design.

(14) for daylight infringements:

(a) ~~[Deleted] refer to Policy H5.3(2);~~

(aa) refer to Policy H5.3(3A).

(b) ~~[Deleted] refer to Policy H5.3(4); and~~

(c) ~~[Deleted] refer to Policy H5.3(5).~~

(15) for outdoor living space infringements:

(a) ~~[Deleted] refer to Policy H5.3(2);~~

(aa) refer to Policy H5.3(3A); and

(b) ~~[Deleted] refer to Policy H5.3(4);~~

(c) ~~[Deleted] refer to Policy H5.3(5); and~~

(d) ~~[Deleted] refer to Policy H5.3(6).~~

(e) the extent to which dwellings provide private open space and communal open space that is useable, accessible from each dwelling and an inviting space which encourages occupants to spend time there; and

(f) where private outdoor living space requirements cannot be met, the extent to which residential developments provide communal outdoor living space that:

(i) is located in a communally accessible location;

- (ii) is of a size and shape that is comparable or better than the area of the infringement;
- (iii) is free from buildings, parking spaces, servicing and manoeuvring areas;
- (iv) is located to optimise sunlight and daylight access;
- (v) may be split into locations within a development that achieves sufficient size and shape and is accessible for residents.

(15A) for windows to street, private vehicle access and primary pedestrian access infringements:

- (a) refer to Policy H5.3(3A); and
- (b) the extent to which the glazing:
 - (i) allows views to the street and/or vehicle access and primary pedestrian access to ensure passive surveillance; and
 - (ii) provides a good standard of privacy for occupants.

(16) for front, side and rear fences and walls infringements:

- (a) ~~[Deleted]~~ refer to Policy H5.3(2);
- (aa) refer to Policy H5.3(3A).
- (b) ~~[Deleted]~~ refer to Policy H5.3(3); and
- (c) ~~[Deleted]~~ refer to Policy H5.3(4).

(17) for minimum dwelling size infringements:

- (a) ~~[Deleted]~~ Policy H5.3(5)
- (aa) Policy H5.3(3A) and
- (b) The extent to which each dwelling is designed to:
 - (i) provide simple and convenient internal access and circulation
 - (ii) include adequate storage; and
 - (iii) be large enough to allow the use of typical furnishings that meet the needs of the intended occupants.

(18) for deep soil area and canopy tree infringements:

- (a) refer to Policy H5.3(3A);

- (b) the extent to which the proposed deep soil area uses or adds to existing deep soil areas to support canopy trees.

(19) for safety and privacy buffer from private vehicle access and primary pedestrian access:

- (a) refer to Policy H5.3(3A); and
- (b) the extent to which the buffer is:
 - (i) free of buildings, parking spaces, structures, servicing facilities and manoeuvring areas;
 - (ii) planted with suitable and low level plants.

(20) For residential waste management infringements:

- (a) refer to Policy H5.3(3A);
- (b) the extent to which sufficient space is provided for residential waste management including areas for storage and collection;
- (c) whether storage areas are suitably located for ease of movement to collection points;
- (d) the extent to which waste management storage areas is are designed to minimise visibility from within the site, from the street and/or adjacent sites;
- (e) where kerbside collection cannot meet the minimum 1m width, the extent to which the waste collection activity avoids adverse effects on the safe and efficient operation of the transport network;
- (f) how the development intends to ensure the on-going management and maintenance of any communal residential waste management area; and
- (g) whether waste storage areas are located outside windows or doors to bedrooms, living areas and outdoor living areas to avoid effects of odour and noise.

(21) For development within the Infrastructure – Combined Wastewater Network Control that does not comply with Standard H5.6.22:

- (a) whether servicing the development will have an adverse effect on the function and available capacity of the Combined Wastewater Network that the development will connect to; and
- (b) whether servicing the development will have an adverse effect on the environment, such as the potential increase in frequency and volume of any wastewater overflows.

H5.9. Special information requirements

~~There are no special information requirements in this zone.~~

Landscape Plans as required by H5.6.11. Landscape area

(1) A scaled landscape plan must be provided that contains landscaped areas and includes:

- (a) plant and tree species, number of each species to be planted and planting grades;
- (b) canopy of existing trees to be retained;
- (c) any area of grass; and
- (d) any paths included in landscaped area.

Deep Soil Area and Canopy Tree

(2) The deep soil area provided must be demonstrated on a scaled landscape plan that at a minimum identifies the following:

- (a) plant and tree species, number of each species to be planted and planting grades;
- (b) location of existing trees to be retained;
- (c) dimensions of individual mature tree canopy;
- (d) any areas of grass; and
- (e) minimum tree canopy dimensions are specified in Table H5.9(3) below.

Table H5.9(3) Minimum tree canopy dimensions

<u>Tree Size</u>	<u>Minimum mature tree height</u>	<u>Minimum mature canopy diameter</u>	<u>Minimum tree height above ground when planted</u>	<u>Indicative tree planting grade</u>
<u>Small</u>	<u>8m</u>	<u>6m</u>	<u>2m</u>	<u>120L</u>
<u>Medium</u>	<u>10m</u>	<u>8m</u>	<u>2.5m</u>	<u>160L</u>
<u>Large</u>	<u>15m</u>	<u>12m</u>	<u>3m</u>	<u>200L</u>

Residential waste management

(3) Applications for where communal bins are proposed, must include calculations for required storage space as determined using the Auckland Council's Solid Waste Calculator (Standard H5.6.21(1)(b)).

(4) When preparing the waste management and minimisation plan, applicants should refer to the Waste Management and Minimisation Bylaw 2019. The following information must be provided:

- (a) the frequency and location of waste collection or transportation; and
- (b) where communal bins are provided for collection, the method of waste segregation that will enable residents to separate dry recycling (glass, paper, plastic etc), food scraps and refuse from their designated bins into the appropriate communal bin for that waste type.

H6. Residential – Terrace Housing and Apartment Buildings Zone

H6.1. Zone Description

The Residential – Terrace Housing and Apartment Buildings Zone is a high-intensity zone ~~enabling a greater intensity of development than previously provided for~~. This zone provides for urban residential living in the form of terrace housing and apartments. The zone is predominantly located around metropolitan, town and local centres and the public transport network, and in the Frequent Transit Network corridor intensification areas to support the highest levels of intensification.

The purpose of the zone is to make efficient use of land and infrastructure, increase the capacity of housing and ensure that residents have convenient access to services, employment, education facilities, retail and entertainment opportunities, public open space and public transport. This will promote walkable neighbourhoods and increase the vitality of centres.

The zone provides for the greatest density, height, and scale of development of all the residential zones. The zone anticipates different built form outcomes depending on whether the area is within walkable catchments with a variation on building heights reflecting:

- strategic importance and significant transport investment;
- accessibility including access to the rapid transit network;
- the proximity to a centre, the role and function of that centre, and the concentration of amenities within it; and/or,
- residential demand relative to other locations.

In areas where these factors are most evident, up to 15 storey development is enabled, with 10 storeys enabled where these factors are high. Legislated locations for intensification are also identified and other areas through the height variation control. Refer to Chapter G and the planning maps for these locations. Development otherwise in the zone is enabled up to 6 storeys. Qualifying matters may also apply and may reduce heights.

The anticipated built form outcomes will lead to a high degree of visual change in the identified areas and will result in changes in the amenity and character of these places over time. With increased building height and intensities of development the character and amenity of areas will develop differing levels of visual amenity, privacy and access to daylight and sunlight recognising the changing built form in the identified areas. Where taller buildings are enabled above 6 storeys it is anticipated that development will transition to human scale six storey podiums with slender towers above with adequate separation between buildings. At the edge of walkable catchments, where adjacent to lower intensity residential zones, buildings are set back from these interfaces.

~~Buildings are enabled up to five, six or seven storeys in identified Height Variation Control areas, depending on the scale of the adjoining centre, to achieve a transition in height from the centre to lower scale residential zones. This form of development will,~~

~~over time, result in a change from a suburban to urban built character with a high degree of visual change.~~

Standards are applied to all buildings and resource consent is required for all dwellings and for other specified buildings and activities in order to:

- achieve the planned urban built character of the zone;
- achieve attractive and safe streets and public open spaces; and
- manage the effects of development on adjoining sites, including visual amenity, privacy and access to daylight and sunlight recognising that these effects will be different in areas where more development height and intensity is enabled; ~~and~~

All residential development must comply with development standards to achieve high good quality on-site living liveable environments that are attractive, healthy and safe; meet the functional and operational needs of residents and emergency responders; and that contribute to climate resilience. Risks from natural hazards are not increased.

The resource consent requirements enable the design and layout of the development to be assessed; recognising that the need to achieve a quality design is increasingly important as the scale of development increases.

This zone also provides for a range of non-residential activities so that residents have convenient access to these activities and services while maintaining the urban residential character of these areas.

H6.2. Objectives

- (1) Land adjacent to centres and near the public transport network is efficiently used to provide high-density urban living that increases housing capacity and choice and access to centres and public transport.
- (2) Development achieves a quality built environment in a variety of forms while ~~is being~~ in keeping with the area's planned urban built character of multi-unit residential development, with building heights enabled in accordance with an area's: strategic importance including proximity to a centre and the role and function of that centre; accessibility including access to the rapid transit network; concentration of amenities; and, residential demand. Building heights in the zone are aligned with these features and are predominantly five, six or seven storey buildings;
 - (a) six storey buildings; and
 - (b) through the height variation controls, in identified walkable catchments, up to ten or fifteen storey buildings; or
 - (c) as specified in the height variation controls in other identified areas, in a variety of forms.
- (3) Development provides quality built environments on site for residents, for residents on adjoining sites and to the street that are attractive, healthy and safe and meet the functional and operational needs of residents and emergency

responders, recognising that with increased building height and intensities of development differing levels of character and amenity of areas will develop in the respective areas over time. ~~on-site residential amenity for residents and adjoining sites and the street.~~

- (4) Non-residential activities provide for the community's social, economic and cultural well-being, while being compatible with the scale and intensity of development anticipated by the zone so as to contribute to the amenity of the neighbourhood.
- (5) Development contributes to a built environment that is resilient to the effects of climate change with areas of deep soil and canopy tree planting, and landscape treatment that comprises natural grass, shrubs and trees that reduce urban heat island effects.
- (6) Development addresses the functional and operational requirements of the water supply, wastewater and stormwater networks to avoid adverse effects on the function and capacity of those networks.
- (7) Development addresses the functional and operational requirements of the local transport network for pedestrians, passenger transport, road users and cyclists.
- (8) Development does not adversely affect the values of adjoining water bodies including riparian, lakeside and coastal protection areas; nor increases natural hazard risks.

H6.3. Policies

General

- (1) Enable a variety of housing types at high densities including terrace housing and apartments and integrated residential development such as retirement villages.
- (2) Require the height, bulk, form and appearance of multi-unit residential development and the provision of setbacks and landscaped areas to achieve a quality built environment high-density urban built character of predominantly five, six or seven storey buildings in identified areas, in a variety of forms, with a high-density urban built character differentiated by building height in identified areas by:
 - (a) building and site design which locates development with bulk and mass towards the street and provides for setbacks, outlook spaces, outdoor living spaces and landscaped areas;
 - (b) for developments more than six storeys:
 - (i) encourage well-designed, human scale podiums with slender towers above with adequate separation between buildings; and

- (ii) at the edge of walkable catchments set buildings back from boundaries where adjacent to lower intensity residential zones; and
 - (c) on all sites encourage well-designed buildings, create human scaled street-edges which complement the area's streetscape and skyline and maintain adequate sunlight and daylight access.
- ~~(3) [Deleted] Encourage development to achieve attractive and safe streets and public open spaces including by:~~
 - ~~(a) providing for passive surveillance~~
 - ~~(b) optimising front yard landscaping~~
 - ~~(c) minimising visual dominance of garage doors.~~
- (3A) Enable building height of at least six storeys in the zone unless a qualifying matter applies that reduces height.

Within Identified Mapped Walkable Catchments

- (3B) Enable in areas with the highest factors of strategic importance, accessibility, concentration of amenities and residential demand, building heights up to fifteen storeys within the walkable catchments (identified in Chapter G) of:
 - (a) the edge of the City Centre zone;
 - (b) the edge of the Metropolitan Centre zones;
 - (c) the legislated locations at rapid transit stops;
 - (d) other rapid transit stops.
- (3C) Enable in areas with, relative to other areas, high factors of strategic importance, accessibility, concentration of amenities and residential demand, building heights up to ten storeys within the walkable catchments (listed in Chapter G) of:
 - (a) the edge of the Metropolitan Centre zones;
 - (b) the legislated locations at rapid transit stops;
 - (c) other rapid transit stops.

Height Variation Control

- ~~(4) In identified locations adjacent to centres, e~~Enable greater building height through the application of the than the standard height in locations identified within the Height Variation Control where the additional development potential enabled, having regard to whether the greater height:

(za) is commensurate with the level of commercial activities and community services;

(zb) is compatible with a qualifying matter that requires reduced height and/or density;

(zc) is an efficient use of land;

(a) provides an appropriate transition in building scale from the adjoining higher density business zone to neighbouring lower intensity residential zones, and;

(b) supports public transport, social infrastructure and the vitality of the adjoining centre.

(4A) Reduce building height below the standard zone height in locations identified within the Height Variation Control, where the standard zone height would have significant adverse effects on identified special character, identified landscape features, amenity or other qualifying matters.

~~(5) [Deleted] Manage the height and bulk of development to maintain daylight access and a reasonable standard of privacy, and to minimise visual dominance effects to adjoining sites and developments;~~

~~(6) [Deleted] Require accommodation to be designed to meet the day to day needs of residents by:~~

~~(a) providing privacy and outlook; and~~

~~(b) providing access to daylight and sunlight, and providing the amenities necessary for those residents.~~

Land Use and Development

(10) Recognise the functional and operational requirements of activities and development, including functional access for emergency responders.

~~(7) [Deleted] Encourage accommodation to have useable and accessible outdoor living space.~~

~~(8) [Deleted] Restrict the maximum impervious area on a site in order to manage the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated.~~

(A9) Require development to achieve a built form that contributes to quality built environment outcomes by:

(a) maintaining privacy, outlook, daylight and sunlight access and reducing over-heating to provide for the health and safety of residents on-site;

(b) providing for residents' safety and privacy while enabling passive surveillance on the street and for vehicle access and primary pedestrian access;

- (c) managing visual dominance effects to adjoining sites;
- (d) maintaining a good level of privacy, and sunlight and daylight access for adjoining sites;
- (e) minimising visual dominance effects of carparking and garage doors to streets and private accessways;
- (f) minimising adverse effects on the natural environment, including restricting maximum impervious area on a site to reduce the amount of stormwater runoff generated by a development and ensure that adverse effects on water quality, quantity and amenity values are avoided or mitigated;
- (g) requiring development to reduce the urban heat island effects of development and respond to climate change, by providing deep soil area that enable the growth of canopy trees;
- (h) requiring adequate landscaped areas that comprise natural grass, plants or trees to provide for quality living environments and create vegetated urban streetscape character;
- (i) requiring outdoor living spaces that are functional in size, have access to sunlight, and are directly and conveniently accessible;
- (j) designing practical and sufficient space for residential waste management;
- (k) designing practical, functional and sufficient space for internal storage and living areas; and
- (l) designing attractive buildings when viewed from public open spaces and the street.
- (B9) Encourage development of four or more dwellings per site and non-residential activities to provide a safe and convenient local transport network for pedestrians, passenger transport, road users including cyclists.
- (C9) Require buildings to be setback from water bodies to maintain and protect environmental, open space, amenity values of riparian margins of lakes, streams and coastal areas and water quality and to provide protection from natural hazards.
- (D9) Restrict development in high hazard areas, and manage development in medium or low hazard areas to ensure natural hazard risk is tolerable or acceptable.
- (9) Provide for non-residential activities that:
 - (a) support the social, cultural and economic well-being of the community;
 - (b) are in keeping with the ~~with the~~ scale and intensity of development anticipated within the zone;
 - (c) avoid, remedy or mitigate adverse effects on residential amenity; and

(d) will not detract from the vitality of the Business – City Centre Zone, Business – Metropolitan Centre Zone and Business – Town Centre Zone.

(11) Require development to remedy or mitigate adverse effects which may compromise the function and capacity of the water supply, wastewater and stormwater networks.

(12) Require development on sites connected to the combined wastewater network as identified on the planning maps to demonstrate that there is sufficient capacity available in the combined wastewater network to enable servicing of the development without adverse effects which may compromise the function and capacity of the combined wastewater network able to be managed.

H6.4. Activity table

Table H6.4.1 Activity table specifies the activity status of land use and development activities in the Residential – Terrace Housing and Apartment Buildings Zone pursuant to section 9(3) of the Resource Management Act 1991).

Table H6.4.1 Activity table

Activity		Activity status	Standards to be complied with
Use			
(A1)	Activities not provided for	NC	
Residential			
(A2)	Camping grounds	NC	
(A3)	Dwellings	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones for development outside walkable catchments; Standard H6.6.8A Setback at upper floors in walkable catchments; Standard H6.6.8B Building setback at upper floors from lower intensity zones at the edge of walkable catchments; Standard H6.6.8C Maximum tower dimension; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious area; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; Standard H6.6.17 Minimum dwelling size; Standard H6.6.19 Windows to street, vehicle access and primary pedestrian access; Standard H6.6.19 Deep soil area and canopy tree; H6.6.20 Safety and privacy

H6 Residential – Terrace Housing and Apartment Buildings Zone

			<u>buffer from primary pedestrian access and vehicle access; Standard H6.6.22 Residential waste management.</u>
(A4)	The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings	P	Standard H6.6.3 The conversion of a principal dwelling into a maximum of two dwellings; <u>Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A5)	Home occupations	P	Standard H6.6.2 Home occupations
(A6)	Home occupations that do not meet Standard H6.6.2	D	
(A7)	Integrated residential development	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones <u>for development outside walkable catchments;</u> Standard H6.6.8A Setback at upper floors in walkable catchments; Standard H6.6.8B Building setback at upper floors from lower intensity zones at the edge of walkable catchments; Standard H6.6.8C Maximum tower dimension; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious area; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; Standard H6.6.17 Minimum dwelling size; Standard H6.6.19 Windows to street, vehicle access and primary pedestrian access; Standard H6.6.20 Deep soil area and canopy tree; H6.6.21 Safety and privacy <u>buffer from primary pedestrian access and vehicle access; Standard H6.6.22 Residential waste management.</u>
(A8)	Supported residential care accommodating up to 10 people per site inclusive of staff and residents	P	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; <u>Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>

H6 Residential – Terrace Housing and Apartment Buildings Zone

(A9)	Supported residential care accommodating greater than 10 people per site inclusive of staff and residents	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards
(A10)	Boarding houses accommodating up to 10 people per site inclusive of staff and residents	P	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; <u>Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A11)	Boarding houses accommodating greater than 10 people per site inclusive of staff and residents	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards
(A12)	Visitor accommodation accommodating up to 10 people per site inclusive of staff and visitors	P	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.16 Front, side and rear fences and walls; <u>Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A13)	Visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards
Commerce			
(A14)	Dairies up to <u>200m²</u> 400m² gross floor area per site	<u>P</u> RD	<u>Standard H6.6.4B Small scale office, dairy, restaurant and cafes activities</u> ; Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard

			H6.6.11 Building coverage; and Standard H6.6.16 Front, side and rear fences and walls
(A14A)	<u>Dairies more than 200m² gross floor area per site</u>	<u>RD</u>	<u>Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; and Standard H6.6.16 Front, side and rear fences and walls.</u>
(A15)	Restaurants and cafes up to <u>200m² 400m² gross floor area per site</u>	<u>P RD</u>	<u>Standard H6.6.4B Small scale office, dairy, restaurant and cafes activities; Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; and Standard H6.6.16 Front, side and rear fences and walls; Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A15A)	<u>Restaurants and cafes more than 200m² gross floor area per site</u>	<u>RD</u>	<u>Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; and Standard H6.6.16 Front, side and rear fences and walls.</u>
(A16)	Service stations on arterial roads	D	
(A16A)	<u>Offices up to 200m² gross floor area per site</u>	<u>P</u>	<u>Standard H6.6.4B Small scale office, dairy, restaurant and cafes activities; Standard H6.6.4A Offices outside the Centre Fringe Office Control as identified on the planning maps; Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A16B)	<u>Offices more than 200m² gross floor area per site</u>	<u>RD</u>	<u>Standard H6.6.4A Offices outside the Centre Fringe Office Control as identified on the planning maps</u>
(A17)	Offices within the Centre Fringe Office Control as identified on the planning maps	P	Standard H6.6.4 Offices within the Centre Fringe Office Control as identified on the planning maps
(A18)	Offices within the Centre Fringe Office Control as identified on the planning maps	D	

	that do not comply with Standard H6.6.4		
Community			
(A19)	Care centres accommodating up to 10 people per site excluding staff	P	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.16 Front, side and rear fences and walls; <u>Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A20)	Care centres accommodating greater than 10 people per site excluding staff	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.16 Front, side and rear fences and walls
<u>(A20A)</u>	<u>Community facilities up to 200m²</u>	<u>P</u>	<u>Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.16 Front, side and rear fences and walls; Standard H6.6.23 Development within the Infrastructure Combined Wastewater Network Control</u>
(A21)	Community facilities more than 200m ² per site	RD	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary ; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.16 Front, side and rear fences and walls
(A22)	Education facilities	D	
(A23)	Tertiary education facilities	D	
(A24)	Emergency services adjoining an arterial road	D	
(A25)	Healthcare facilities up to 200m ² gross floor area per site	<u>P RD</u>	Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation

			to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.16 Front, side and rear fences and walls; Standard H6.6.23 Development within the <u>Infrastructure Combined Wastewater Network Control</u>
(A26)	Healthcare facilities greater than 200m ² gross floor area per site	D	
(A27)	Veterinary clinics	D	
Rural			
(A28)	Grazing of livestock on sites greater than 2,000m ² net site area	P	
Mana Whenua			
(A29)	Marae complex	D	
Development			
(A30)	Demolition of buildings	P	
(A31)	[Deleted] Internal and external alterations to buildings	[Deleted] P	[Deleted] Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; H6.6.17 Minimum dwelling size
(A31A)	<u>Internal and external alterations to buildings</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the building is designed to accommodate.</u>
(A32)	[Deleted] Accessory buildings	[Deleted] P	[Deleted] Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage
(A32A)	<u>Accessory buildings</u>	<u>P</u>	<u>The same standards as applies to the land use activity that the building is designed to accommodate.</u>

(A33)	[Added] Additions to an existing dwelling	[Deleted] P	[Deleted] Standard H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; H6.6.17 Minimum dwelling size.
(A33A)	Additions to an existing dwelling	P	The same standards as applies to the land use activity that the building is designed to accommodate.
(A34)	[Deleted] New buildings and additions to buildings which do not comply with H6.6.6 Height in relation to boundary but comply with H6.6.7 Alternative height in relation to boundary	-RD	H6.6.7 Alternative height in relation to boundary Note: Compliance with standard H6.6.6 Height in relation to boundary is not required.
(A35)	New buildings and additions to buildings	The same activity status and standards as applies to the land use activity that the new building or addition to a building is designed to accommodate	
(A36)	Rainwater Tank	P	Standard H6.6.18
(A37)	For development in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that comply with other standards but do not comply with Standard H6.6.23	RD	

Qualifying matter as per Sch 3C, cls 8(1)(a) of the RMA

H6.5. Notification

- (1) Any application for resource consent for the following activities will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991:

- (a) dwellings that comply with all of the standards listed in Table H6.4.1 Activity table;

- (b) an integrated residential development that complies with all of the standards listed in Table H6.4.1 Activity table;
 - (c) ~~[Deleted] New buildings and additions to buildings which do not comply with H6.6.6 Height in relation to boundary, but comply with Rule 6.6.7 Alternative height in relation to boundary;~~
 - (d) development which does not comply with H6.6.16 (1)(a) Front, side and rear fences and walls; or
 - (e) development which does not comply with H6.6.17 Minimum dwelling size.
- (2) Any application for resource consent for an activity listed in Table H6.4.1 Activity table and which is not listed in H6.5(1) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.
- (3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in Rule [C1.13\(4\)](#).

H6.6. Standards

H6.6.1. Activities listed in Table H6.4.1 Activity table

- (1) Activities and buildings containing activities listed in Table H6.4.1 Activity table must comply with the standards listed in the column in Table H6.4.1 Activity table called Standards to be complied with.

H6.6.2. Home occupations

Purpose: to enable people to work from home at a scale that the residential character and amenity is maintained.

- (1) A home occupation must comply with all the following standards:
- (a) at least one person engaged in the home occupation must use the dwelling on the site as their principal place of residence;
 - (b) no more than two people who do not use the dwelling as their principal place of residence may work in the home occupation;
 - (c) no more than four people in total may work in the home occupation;
 - (d) the sale of goods or services from the home occupation that requires customers to come to the site and the delivery of goods to and from the site may not occur before 7am or after 7pm;
 - (e) car trips to and from the home occupation activity must not exceed 20 per day;
 - (f) heavy vehicle trips must not exceed two per week;

- (g) no more than one commercial vehicle associated with the home occupation may be on site at any one time;
- (h) storage for rubbish and recycling associated with the home occupation must be provided on site and screened from public view;
- (i) materials or goods manufactured, serviced or repaired in the home occupation must be stored and worked on within a building on the same site; and
- (j) goods sold from the home occupation must be:
 - (i) goods produced on site; or
 - (ii) goods that are primarily ordered by mail or electronic transaction and redistributed by post or courier; or
 - (iii) goods ancillary and related to a service provided by the home occupation.

H6.6.3. The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings

Purpose: to enable a dwelling existing as at 30 September 2013 to be converted into a maximum of two dwellings and to provide for sufficient outdoor living space for each of the dwellings.

- (1) Where a principal dwelling existing as at 30 September 2013 is proposed to be converted into a maximum of two dwellings each dwelling must have an outdoor living space that is:
 - (a) at least 5m² for a studio or one-bedroom dwelling and 8m² for a two or more bedroom dwelling; and
 - (b) at least 1.8m in depth; and
 - (c) directly accessible from the dwelling.

H6.6.4. Offices within the Centre Fringe Office Control as identified on the planning maps

Purpose: enable offices in existing buildings in the Centre Fringe Office Control area.

- (1) Offices must be located in existing buildings.
- (2) Standard H6.6.4B Non-residential activities does not apply to Offices within the Centre Fringe Office Control as identified on the planning maps

H6.6.4A Offices outside the Centre Fringe Office Control as identified on the planning maps

Purpose: enable small scale offices on the ground floor that contribute to the wellbeing of residents.

- (1) Offices must be located on the ground floor; and

- (2) Offices must not exceed 200m² GFA on a site.

H6.6.4B Small scale office, dairy, restaurant and cafes activities

Purpose: enable small scale non-residential activities, being office, dairy, restaurant and cafes on the ground floor of developments that contribute to and are compatible with the wellbeing of residents.

- (1) The combined GFA of office, dairy, restaurant and cafes activities on a site must not exceed 600m².
- (2) The office, dairy, restaurant and cafes activities must be located on the ground floor.

H6.6.5. Building height

Purpose: to manage the height of buildings to provide for terrace housing and apartments and achieve an urban built character of predominantly ~~five storeys or six, or seven~~ ten or fifteen storeys in identified locations ~~adjacent to centres.~~

- (1) Buildings must not exceed 22m ~~46m~~ in height unless otherwise specified in the Height Variation Control on the planning maps.
- (2) If the site is subject to the Height Variation Control, buildings must not exceed the height in metres shown for the site on the planning maps.
- (3) ~~[Deleted] Standard H5.6.4 5 Building height applies to the site at 16 Spring Street, Freemans Bay (Lot 1 DP 85829) within a 10m setback area along Spring Street, England Street and adjoining the reserve at 10 England Street (Lot 1 DP 85953) as indicated on the planning maps. Outside of the setback area Buildings must not exceed 16m in height.~~

H6.6.6. Height in relation to boundary

Purpose:

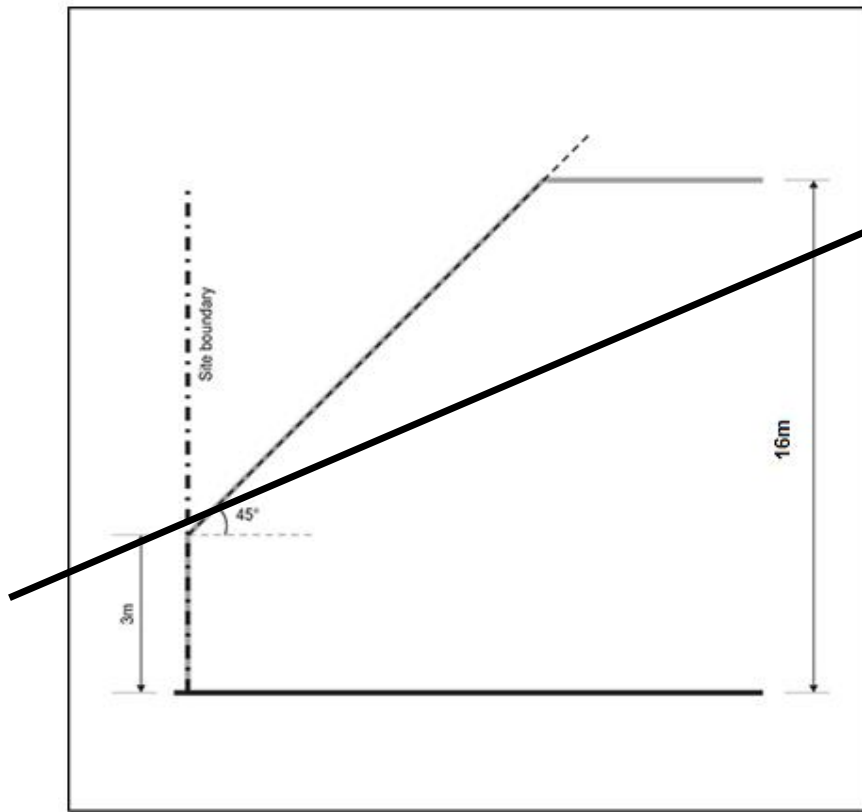
- to ~~minimise~~ manage the adverse effects of building height on neighbours (i.e. dominance and shading) and reduce the overall visual dominance of buildings at upper levels, recognising that with increased building height the adverse effects will be different; and
- to enable up to six storeys that locates bulk and mass towards the street and achieves a quality built environment whilst limiting the adverse effects of building height on neighbouring sites (i.e. dominance and shading) to acceptable levels and reducing the overall visual dominance of buildings beyond 21.5m from the front boundary of adjoining sites.

In identified walkable catchments

- For buildings in walkable catchments, on sites with a Height Variation Control for 10 storeys and 15 storeys or where development exceeds six storeys locate the bulk and mass above six storeys centrally on sites and achieve a tower and podium form with a quality built environment whilst recognising that the adverse effects of the additional building height on neighbouring sites (i.e. dominance and shading) will be different in these identified areas.

- (1) ~~[Deleted]~~ Buildings must not project beyond a 45-degree recession plane measured from a point 3m vertically above ground level along the side and rear boundaries, as shown in Figure H6.6.6.1 Height in relation to boundary below.

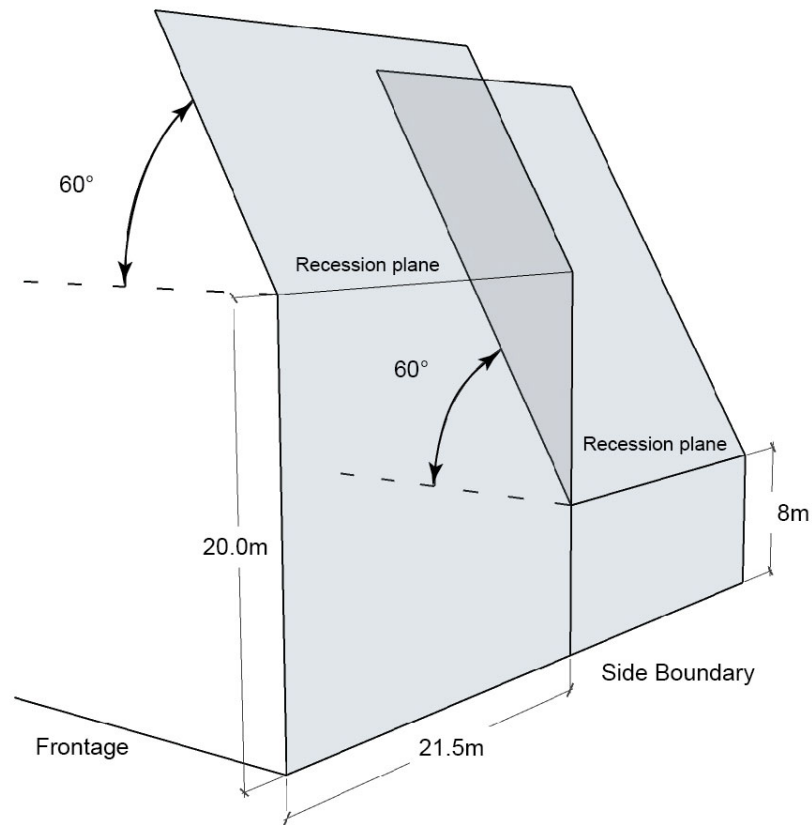
Figure H6.6.6.1-~~[Deleted]~~ Height in relation to boundary



- (1A) Buildings or parts of buildings on sites not subject to a Height Variation Control enabling more than 22m in height:

- (a) within 21.5m from the frontage, must not project beyond a 60-degree recession plane measured from a point 20m vertically above ground level along the side boundaries as shown in Figure H6.6.6.1A Height in relation to boundary; and
- (b) beyond 21.5m from the frontage, and on rear sites must not project beyond a 60-degree recession plane measured from a point 8m vertically above ground level along the side and rear boundaries as shown in Figure H6.6.6.1A Height in relation to boundary.

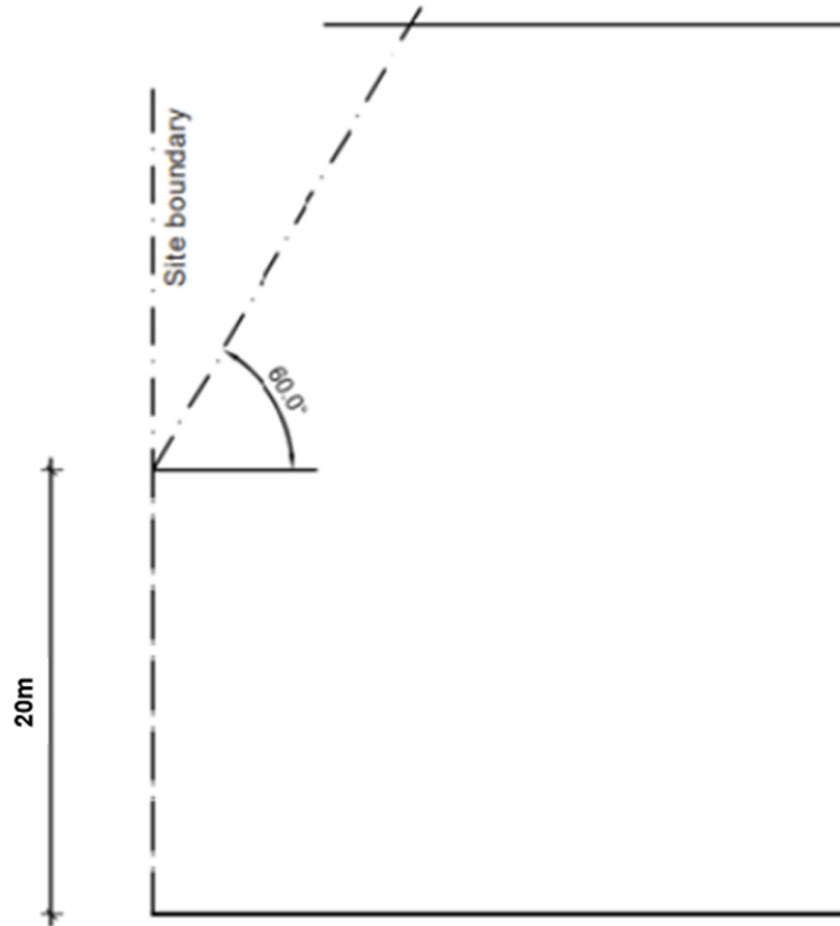
Figure H6.6.6.1A Height in relation to boundary



Qualifying matter as per
Sch 3C, cls 8(1)(b) of the
RMA

(1B) Buildings or part of buildings in walkable catchments and on a site subject to a Height Variation Control enabling buildings more than 22m in height, must not project beyond a 60-degree recession plane measured from a point 20m vertically above ground level along the side and rear boundary as shown in Figure H6.6.6.1B Height in relation to boundary for buildings in walkable catchments and on a site subject to a Height Variation Control enabling buildings more than 22m in height.

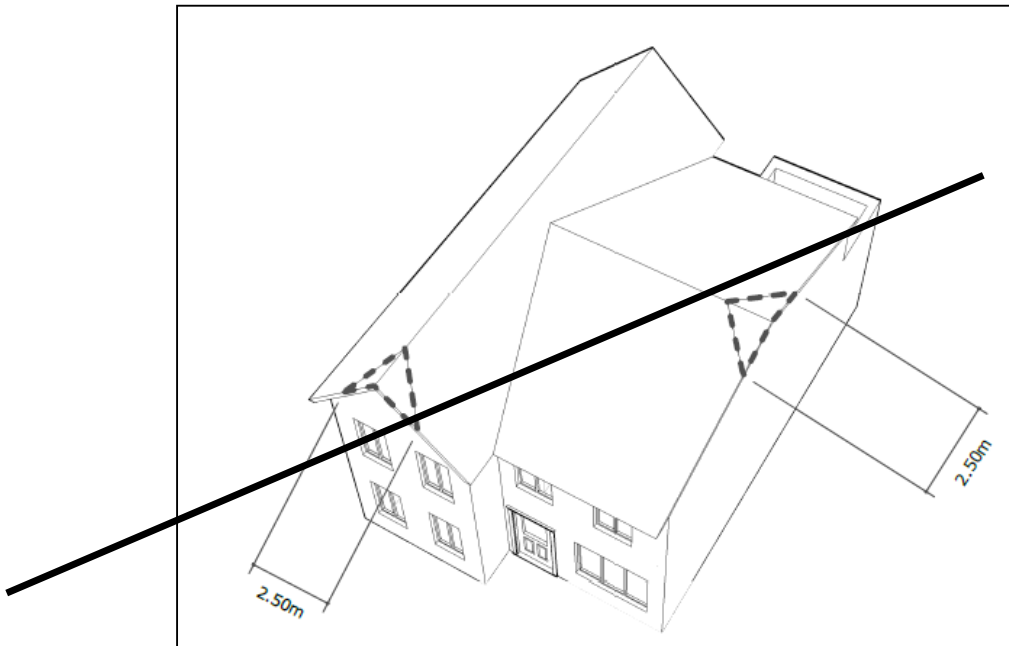
Figure H6.6.6.1B Height in relation to boundary for buildings in walkable catchments and on a site subject to a Height Variation Control enabling buildings more than 22m in height



-
- (2) Standard H6.6.6(4) (1A) and (1B) does not apply to a boundary, or part of a boundary, adjoining any of the following:
- (a) Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business – Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone; or
 - (b) sites within the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone:

- (i) that are greater than 2000m²;
 - (ii) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and
 - (iii) where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.
- (3) Standard H6.6.6(4) (1A) and (1B), does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.
- (4) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard H6.6.6(4) (1A) and (1B), applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.
- (5) ~~[Deleted]~~ A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
- ~~(a) no greater than 1.5m² in area and no greater than 1m in height; and~~
 - ~~(b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H6.6.6.2 Exceptions for gable ends and dormers and roof projections below.~~

Figure H6.6.6.2 ~~[Deleted]~~ Exceptions for gable ends and dormers and roof projections



- (6) ~~[Deleted]~~ No more than two gable end, dormer or roof projections are allowed for every 6m length of site boundary.

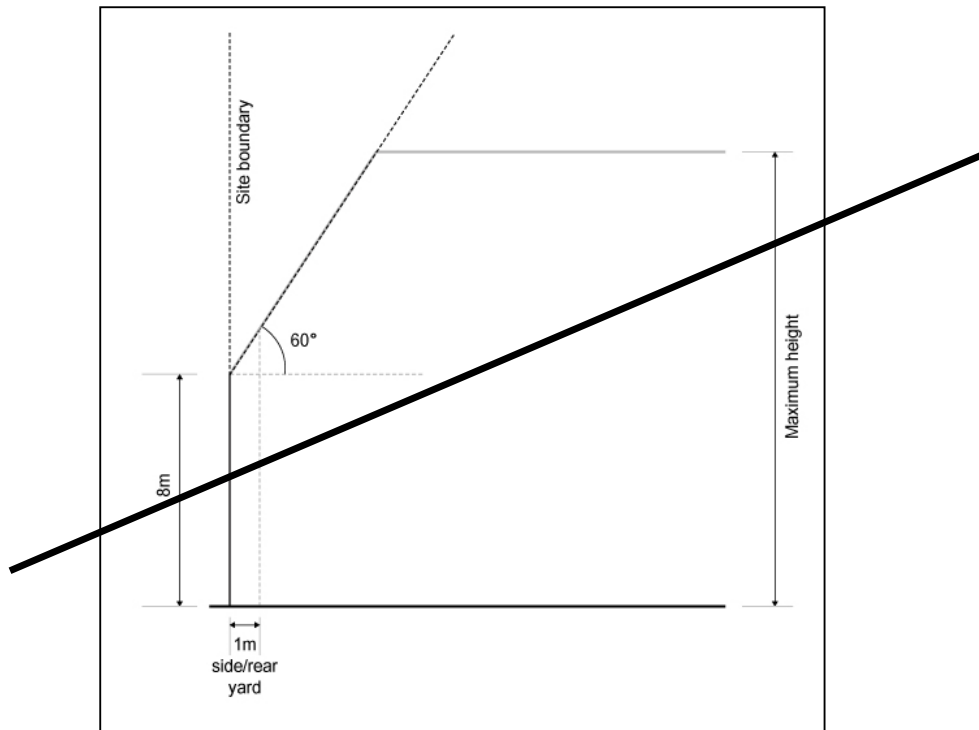
- (7) The height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.

H6.6.7. ~~[Deleted]~~ Alternative height in relation to boundary within the Residential – Terrace Housing and Apartment Buildings Zone

~~Purpose: to enable the efficient use of the site by providing design flexibility at the upper floors of a building, while maintaining a reasonable level of daylight access and reducing visual dominance effects to immediate neighbours.~~

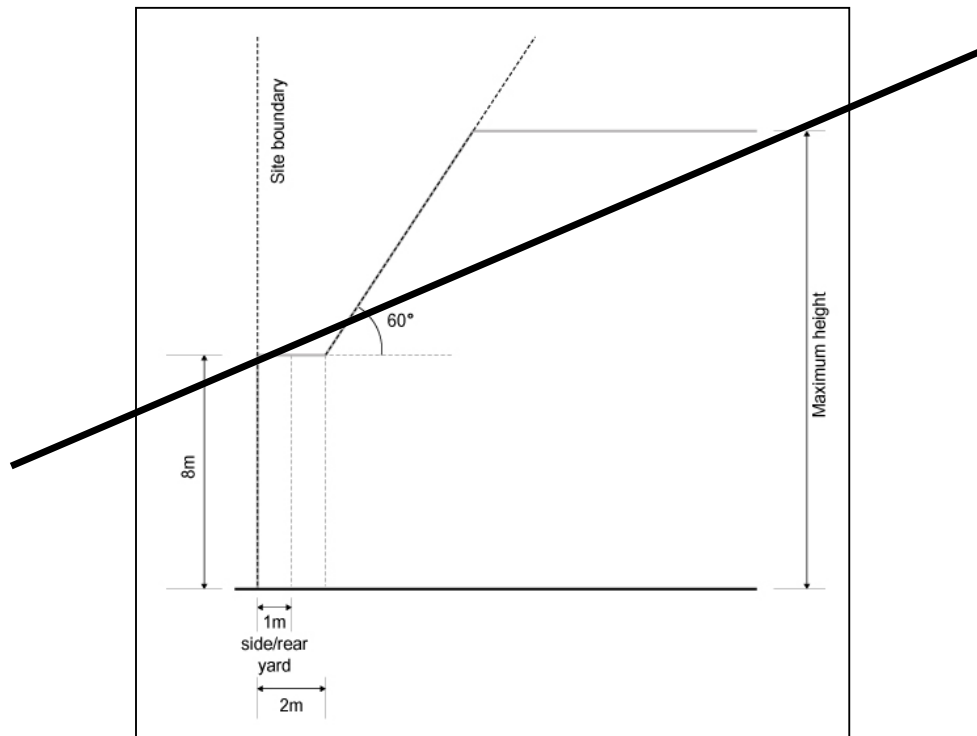
- ~~(1) This standard is an alternative to the permitted Standard H6.6.6 Height in relation to boundary and applies to sites in the Terrace Housing and Apartment Buildings Zone that adjoin another site in the same zone or any other zone not specified in Standard H6.6.8 Height in relation to boundary adjoining lower intensity zones.~~
- ~~(2) Buildings or any parts of buildings must not project beyond a 60-degree recession plane measured from a point 8m vertically above ground level along side and rear boundaries within 20m of the site frontage, as shown in Figure H6.6.7.1 Alternative height in relation to boundary within 20m of the site frontage below.~~

Figure H6.6.7.1 Alternative height in relation to boundary within 20m of the site frontage



- ~~(3) Buildings or any parts of buildings further than 20m from the site frontage must not project beyond a 60-degree recession plane measured from a point 8m vertically above ground level, and 2m perpendicular to side and rear boundaries, as shown in Figure H6.6.7.2 Alternative height in relation to boundary further than 20m from the site frontage below.~~

Figure H6.6.7.2 Alternative height in relation to boundary further than 20m from the site frontage



(4) Standard H6.6.7(2) and (3) above do not apply to a boundary, or part of a boundary, adjoining any of the following:

(a) ~~a Business – City Centre Zone; Business – Metropolitan Centre Zone; Business – Town Centre Zone; Business – Local Centre Zone; Business – Neighbourhood Centre Zone; Business – Mixed Use Zone; Business – General Business Zone; Business – Business Park Zone; Business – Light Industry Zone and Business – Heavy Industry Zone; or~~

(b) ~~sites within the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone;~~

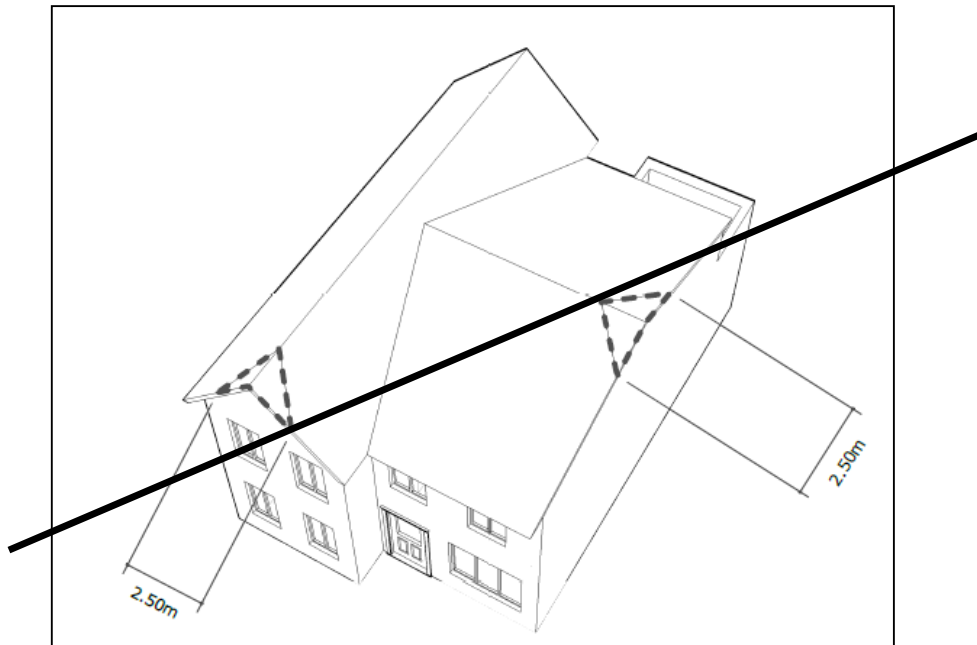
~~(i) that are greater than 2000m²;~~

~~(ii) where that part of the site in (i) is greater than 20 metres in width, when measured perpendicular to the shared boundary; and~~

~~(iii) Where an open space comprises multiple sites but has a common open space zoning, the entire zone will be treated as a single site for the purpose of applying the standards listed below.~~

- ~~(5) Standard H6.6.7(2) and (3) above do not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.~~
- ~~(6) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard H6.6.7(2) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.~~
- ~~(7) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plane is:
 - ~~(a) no greater than 1.5m² in area and no greater than 1m in height; and~~
 - ~~(b) no greater than 2.5m cumulatively in length measured along the edge of the roof as shown in Figure H6.6.7.3 Exceptions for gable ends, dormers and roof projections below.~~~~

Figure H6.6.7.3 Exceptions for gable ends, dormers and roof projections



- ~~(8) No more than two gable end, dormer or roof projections are allowed for every 6m length of site boundary.~~
- ~~(9) The building setback must be a stepped profile and must not be a literal regression of the recession plane.~~
- ~~(10) This alternative height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.~~

H6.6.8. Height in relation to boundary adjoining lower intensity zones for development outside walkable catchments

Purpose: for development outside walkable catchments, to manage the height and bulk of buildings at boundaries to maintain a reasonable level of sunlight access and minimise visual dominance effects to immediate neighbours within lower intensity zones and small public open spaces.

- (1) Where sites in the Residential – Terrace Housing and Apartment Buildings Zone are located outside walkable catchments and adjoin:
 - (a) a site in the Residential – Single House Zone; or
 - (b) a site in the Residential – Mixed Housing Suburban Zone; or
 - (c) sites less than 2000m² in the Open Space – Conservation Zone; Open Space – Informal Recreation Zone; Open Space – Sports and Active Recreation Zone; Open Space – Civic Spaces Zone; or the Open Space – Community Zone ~~except Standard H6.6.8(1)(c) does not apply to the site at 16 Spring Street, Freemans Bay (Lot DP 58529);~~

then buildings must not project beyond a 45 degree recession plane measured from a point 2.5m vertically above ground level along the boundary of the site in the Residential – Terrace Housing and Apartment Buildings Zone with the zone listed in Standard H6.6.8(1)(a) – (c) above.

- (2) Where sites in the Residential – Terrace Housing and Apartment Buildings Zone are located outside walkable catchments and adjoin sites in the Residential – Mixed Housing Urban Zone then ~~Standard H5.6.5 Height in relation to boundary in the Residential – Mixed Housing Urban Zone or Standard H5.6.6 Alternative h Height in relation to boundary in the Residential – Mixed Housing Urban Zone~~ applies to the boundary of the site in the Residential – Terrace Housing and Apartment Buildings Zone that adjoins the Residential – Mixed Housing Urban Zone.
- (3) The building setback must be a stepped profile and must not be a literal regression of the recession plane.
- (4) Where the boundary forms part of a legal right of way, entrance strip or access site or pedestrian access way, the control in Standard H6.6.8(1) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.
- (5) A gable end, dormer or roof may project beyond the recession plane where that portion beyond the recession plan is:
 - (a) no greater than 1.5m² in area and no greater than 1m in height; and
 - (b) no greater than 2.5m cumulatively in length measured along the edge of the roof.

Qualifying matter as
per Sch 3C, cls 8(1)(b)
of the RMA

H6.6.8A Building setback at upper floors in walkable catchments

Purpose: for developments more than six storeys in height:

- manage the height and bulk of buildings at the street boundary to maintain streetscape amenity and visual dominance effects on adjoining sites within the zone;
- manage visual dominance effects on streets; and
- minimise visual dominance, residential amenity and effects on neighbours.

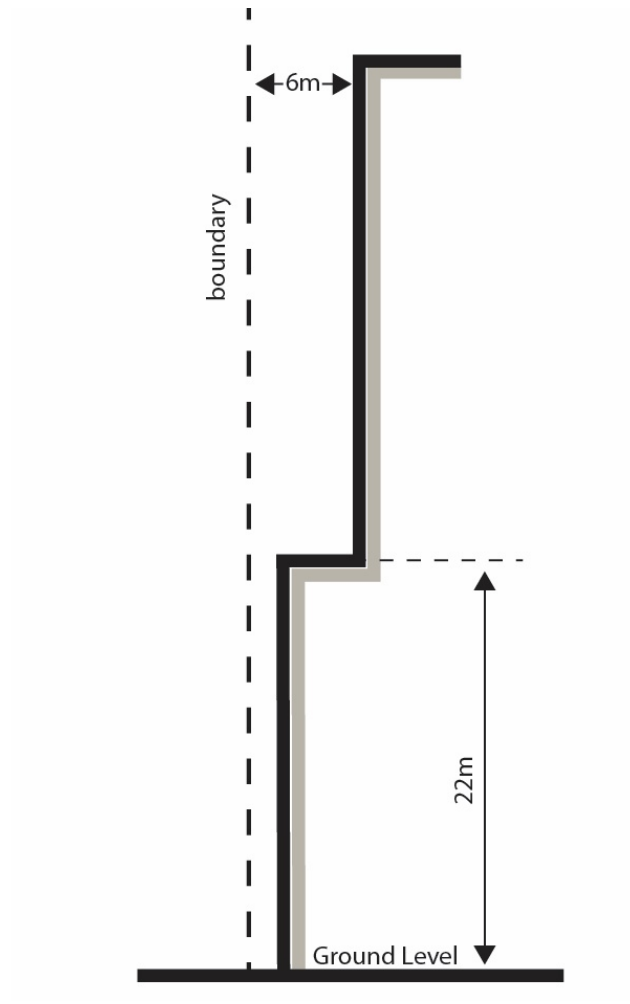
(1) For buildings more than 22m in height, the parts of the building above 22m must be set back from the boundary where it exceeds the height listed in metres specified in Table H6.6.8A.1 and as shown in Figure H6.6.8A.1 Building setback at upper floors in Walkable Catchments:

Table H6.6.8A.1 Building setback at upper floors in Walkable Catchments

<u>Boundary</u>	<u>Height above ground level which the set back will be measured from:</u>	<u>Minimum depth</u>
<u>Front</u>	<u>22m</u>	<u>6m</u>
<u>Side</u>	<u>22m</u>	<u>6m</u>
<u>Rear</u>	<u>22m</u>	<u>6m</u>

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Figure H6.6.8A.1 Building setback at upper floors in Walkable Catchments



H6.6.8B Building setback at upper floors from lower intensity residential zones at the edge of walkable catchments

Purpose: for buildings more than six storeys in height minimise visual dominance, residential amenity and effects on neighbours in lower intensity zones at the edge of walkable catchments.

- (1) For development more than 22m in height, on sites at the edge of the walkable catchment, the parts of a building must be set back from the boundary adjoining the Residential – Single House zone, Residential – Mixed Housing Suburban zone and the Residential – Mixed Housing Urban zone by the distance and at the height listed in metres specified in Table H6.6.8A.1 and as shown in Figure H6.6.8A.1 Building setback at upper floors in Walkable Catchments.

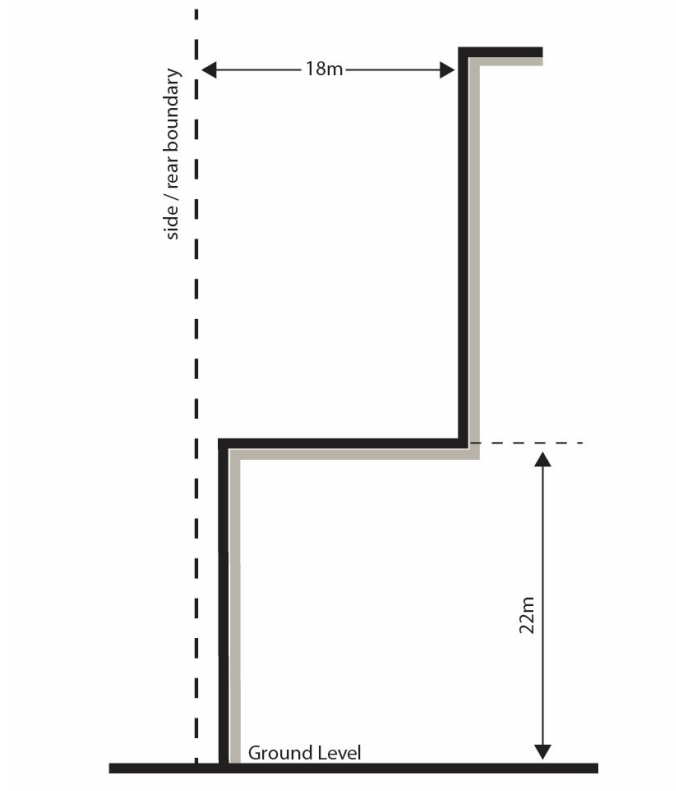
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Table H6.6.8B.1 Building setback at upper floors from lower intensity residential zones at the edge of walkable catchments

<u>Height Variation Control</u>	<u>Boundary at the edge of the walkable catchment adjoining the Residential – Single House zone, Residential – Mixed Housing Suburban zone and the Residential – Mixed Housing Urban zone</u>	<u>Height above ground level which the set back will be measured from</u>	<u>Minimum depth</u>
<u>More than 22m in height</u>	<u>Side</u>	<u>22m</u>	<u>18m</u>
	<u>Rear</u>	<u>22m</u>	<u>18m</u>

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of the RMA

Figure H6.6.8B.1 Building setback at upper floors at the edge of walkable catchments adjoining the Residential – Single House zone, Residential – Mixed Housing Suburban zone and the Residential – Mixed Housing Urban zone



H6.6.8C Maximum tower dimension

Purpose: ensure that multi-storey buildings more than 22m in height:

- are not overly bulky in appearance and manage significant visual dominance effects;
- in areas where the Height Variation Controls enables buildings more than 6 storeys in height to provide for human scale podiums with slender towers above;
- allow adequate sunlight and daylight access to streets, public open space and nearby sites;
- provide adequate light and air around and between buildings; and
- mitigate adverse wind effects.

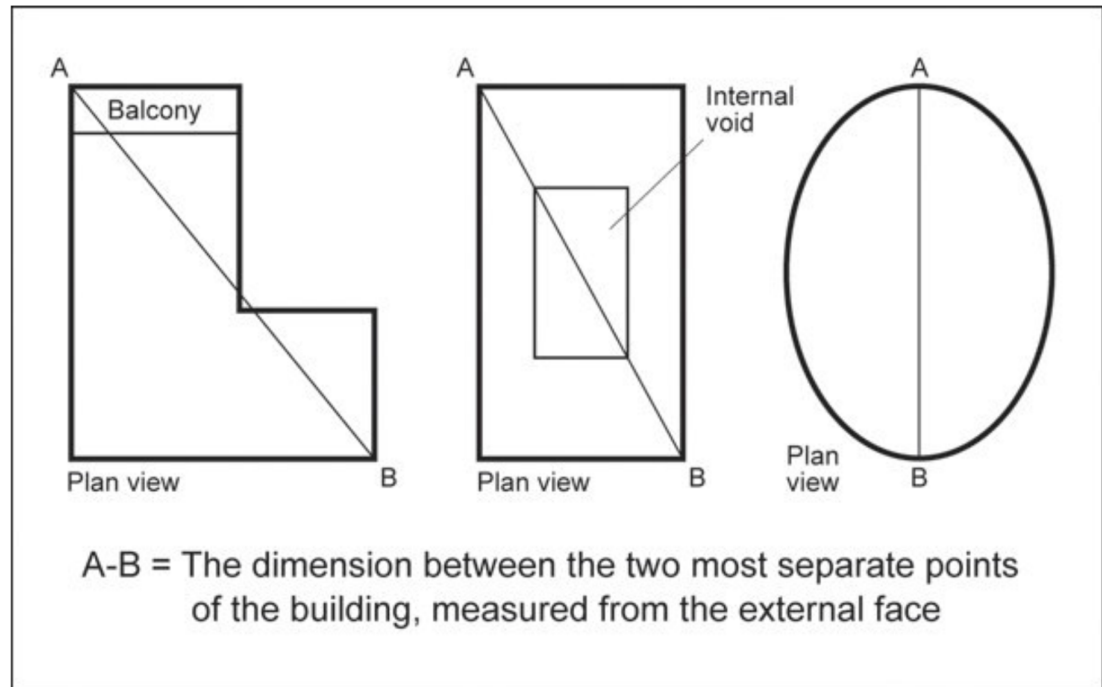
(1) Development more than 22m in height must comply with the following:

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(a) The maximum plan dimension of that part of the building above 22m must not exceed 38m as shown in Figure H6.6.8C.1 Maximum tower dimension plan view above 22m.

(2) The maximum plan dimension is the horizontal dimension between the exterior faces of the two most separate points of the building.

Figure H6.6.8C.1 Maximum tower dimension plan view above 22m



H6.6.9. Yards

Purpose:

- to create an urban streetscape character and provide sufficient space for landscaping within the front yard;
- to maintain a reasonable standard of residential amenity for adjoining sites;
- to ensure buildings are adequately set back from lakes, streams and the coastal edge to maintain water quality and provide protection from natural hazards; and
- to enable buildings and services on the site or adjoining sites to be adequately maintained.

(1) A building or parts of a building must be set back from the relevant boundary by the minimum depth listed in Table H6.6.9.1 Yards below.

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Table H6.6.9.1 Yards

Yard	Minimum depth
Front	1.5m
Side	1m
Rear	1m
Riparian	10m from the edge of all other permanent and intermittent streams
Lakeside	30m
Coastal protection yard	10m, or as otherwise specified in Appendix 6 Coastal protection yard

- (2) Standard H6.6.9(1) does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.

Note 1

Emergency responder access requirements are further controlled by the Building Code. Plan users should refer to the Building Code to ensure compliance can be achieved at building consent stage. Granting of a resource consent does not imply that waivers of Building Code requirements will be granted. Fire and Emergency New Zealand publishes guidance in the context of the Building Code requirements.

H6.6.10. Maximum impervious area

Purpose:

- to manage the amount of stormwater runoff generated by a development, particularly in relation to the capacity of the stormwater network and potential flood risks;
- to support the functioning of riparian yards, lakeside yards and coastal yards and water quality and ecology;
- to reinforce the building coverage and landscaped area standards; and
- to limit paved areas on a site to improve the site's appearance and cumulatively maintain amenity values in a neighbourhood.

- (1) The maximum impervious area must not exceed 70 per cent of site area.
- (2) The maximum impervious area within a riparian yard, a lakeside yard or a coastal protection yard must not exceed 10 per cent of the riparian yard, the lakeside yard or the coastal protection yard area.

H6.6.11. Building coverage

Purpose: to manage the extent of buildings on a site to achieve the planned urban character of buildings surrounded by open space.

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of the RMA

- (1) The maximum building coverage must not exceed 50 per cent of the net site area.

H6.6.12. Landscaped area

Purpose:

- to provide for quality living environments consistent with the planned urban built character of buildings and vegetated areas ~~surrounded by open space~~; and
 - to create a ~~landscaped~~ vegetated urban streetscape character within the zone.
- (1) The minimum landscaped area must be at least 30 per cent of the net site area.

H6.6.13. Outlook space

Purpose:

- to ensure a reasonable standard of visual privacy between habitable rooms of different buildings, on the same or adjacent sites;
 - for buildings in a walkable catchment, more than six storeys in height, provide greater separation between tower forms that are enabled;
 - encourage the placement of habitable room windows to the site frontage or to the rear of the site in preference to side boundaries, to maximise both passive surveillance of the street and privacy, and to avoid overlooking of neighbouring sites; and
 - in combination with the daylight control, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space.
- (1) An outlook space must be provided from the face of a building containing windows to a habitable room. Where the room has two or more external faces with windows the outlook space must be provided from the face with the largest area of glazing.
 - (2) For development up to 22m in height ~~the~~ the minimum dimensions for a required outlook space are as follows:
 - (a) a principal living room of a dwelling or main living and dining area within a boarding house or supported residential care must have an outlook space with a minimum dimension of:
 - (i) 6m in depth and 4m in width as shown in Figure H6.6.13.1 Required outlook space; and
 - (ii) for parts of buildings more than 12.5m above ground level where the minimum dimension is 8m depth and 4m in width; and

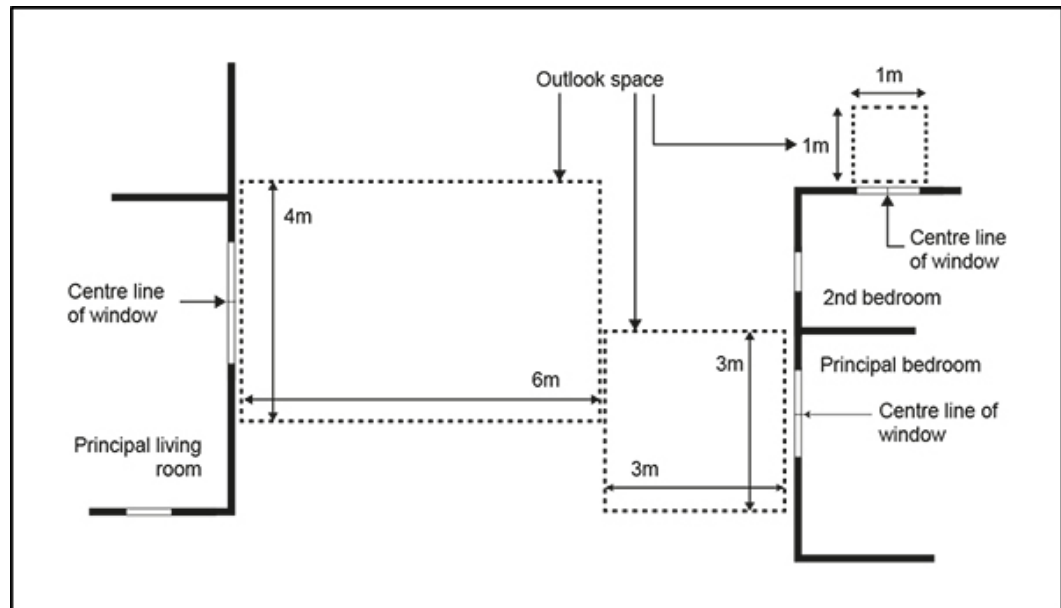
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- (iii) where the principal living room outlook is on the ground floor and is defined by a boundary fence, outlook depth may be reduced to 5m.
 - (b) a principal bedroom of a dwelling or a bedroom within a boarding house or supported residential care unit must have an outlook space with a minimum dimension of 3m in depth and 3m in width; and
 - (c) all other habitable rooms must have an outlook space with a minimum dimension of 1m in depth and 1m in width.
- (2A) For development more than 22m in height the minimum dimensions for a required outlook space are as follows:
- (a) for the principal living area of a dwelling or main living and dining area within a boarding house or supported residential care, the depth dimensions of the outlook space, measured perpendicular to the exterior face of the building, must be in accordance with Figure H6.6.13.2, for the relative height of the floor above ground level along each building face and at least 4m in width; or
 - (b) for bedrooms of a dwelling or main living and dining area within a boarding house or supported residential care, the outlook space must be a minimum of 3m in width measured perpendicular to the exterior face of the building and a minimum 3m in width;
 - (c) all other habitable rooms must have an outlook space with a minimum dimension of 1m in depth and 1m in width.
- (3) The depth of the outlook space is measured at right angles to and horizontal from the window to which it applies.
- (4) The width of the outlook space is measured from:
- (a) the centre point of the largest window on the building face to which it applies where outlook depth is reduced to 5m as provided for under H6.6.13(2)(a)(ii) above; or
 - (b) the centre line of the façade of the largest window or balcony edge whichever is closer to the boundary or opposing building.
- (5) The height of the outlook space is the same as the floor height, measured from floor to ceiling, of the building face to which the standard applies.
- (6) Outlook spaces may be:
- (a) over parking spaces, vehicle access or manoeuvring areas within the site,
 - (b) over a public street, or
 - (c) other public open space.
- (6A) Where the outlook space is from a ground floor principal living room, it must not be over parking spaces, vehicle access or manoeuvring areas and H6.6.13(6)(a) does not apply.

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of the RMA

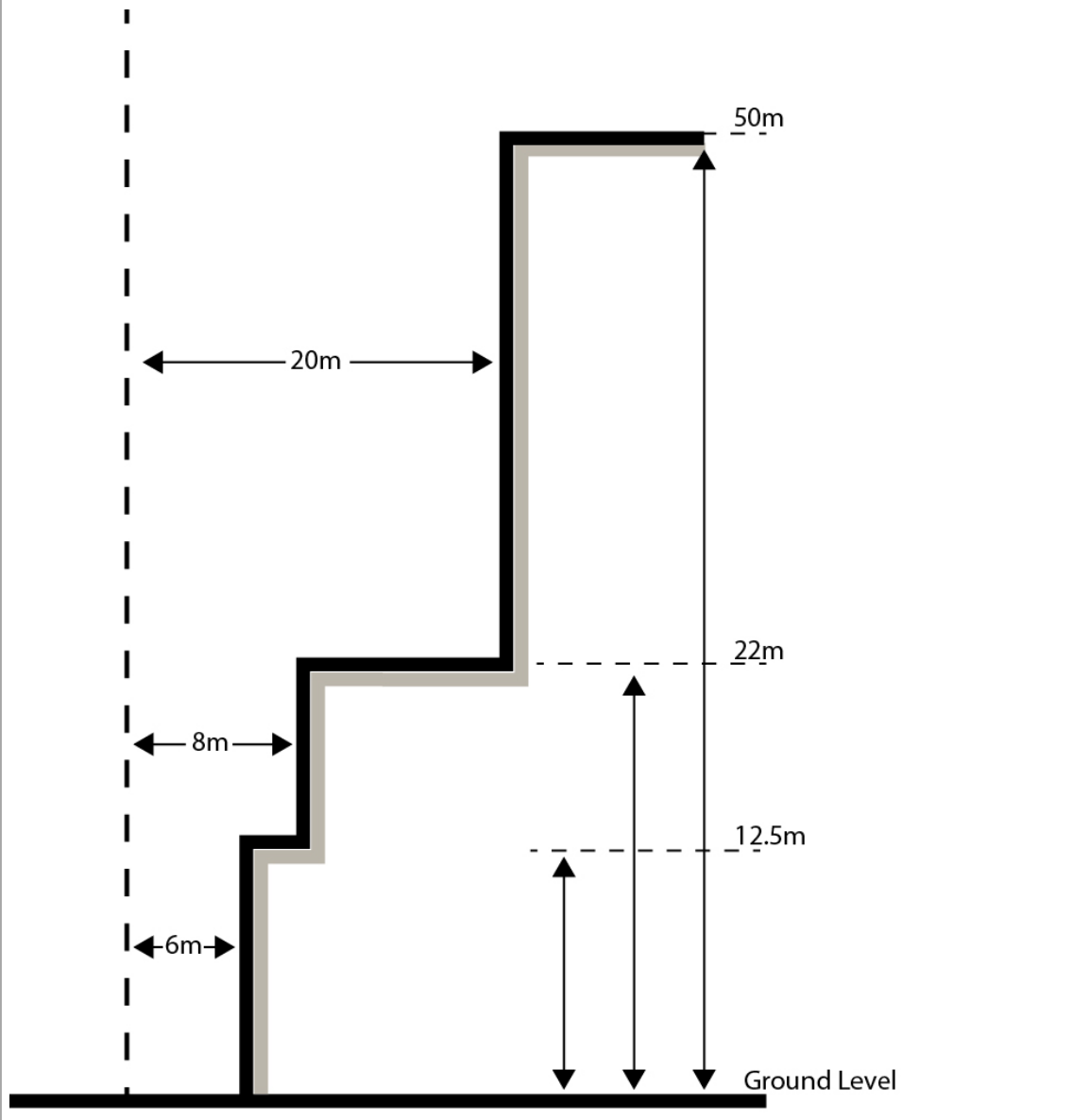
- (7) Outlook spaces required from different rooms within the same building may overlap.
- (8) Outlook spaces may overlap where they are on the same wall plane.
- (9) Outlook spaces must:
 - (a) be clear and unobstructed by buildings;
 - (b) not extend over adjacent sites, except for where the outlook space is over a public street or public open space as outlined in H6.6.13(6) above; and
 - (c) not extend over an outlook spaces or outdoor living space required by another dwelling.

Figure H6.6.13.1 Required outlook space for developments up to 22m in height outside walkable catchments, and in walkable catchments



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Sch 3C, cls
8(1)(b) of the
RMA

Figure H6.6.13.2 Required outlook space perpendicular depth for developments more than 22m in height



H6.6.14. Daylight

Purpose:

- to ensure adequate daylight for living areas and bedrooms in dwellings, supported residential care and boarding houses; and
- in combination with the outlook control, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space, particularly at upper building levels.

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- (1) Where the proposed building and/or opposite building contains principal living room or bedroom windows in a dwelling, or main living/dining area or bedroom windows in supported residential care and boarding houses, then:
 - (a) that part of a building higher than 3m opposite buildings within the same site is limited in height to twice the horizontal distance between the two buildings for a length defined by a 55 degree arc from the centre of the window. The arc may be swung to within 35 degrees of the plane of the wall containing the window as shown in Figure H6.6.14.2 Required setbacks for daylight below.

Refer to Table H6.6.14.1 Maximum height of the part of a building within a site facing a principal living room or bedroom window within the same site; Figure H6.6.14.1 Required setbacks for daylight and Figure H6.6.14.2 Required setbacks for daylight below.
- (2) Where the principal living room, main living/dining area or bedroom has two or more external faces with windows, Standard H6.6.14(1) above will apply to the largest window.
- (3) Where the window is above ground level, the height restriction is calculated from the floor level of the room containing the window.
- (4) Standard H6.6.14(1), (2) and (3) do not apply to development opposite the first 5m of a building which faces the street, measured from the front corner of the building.

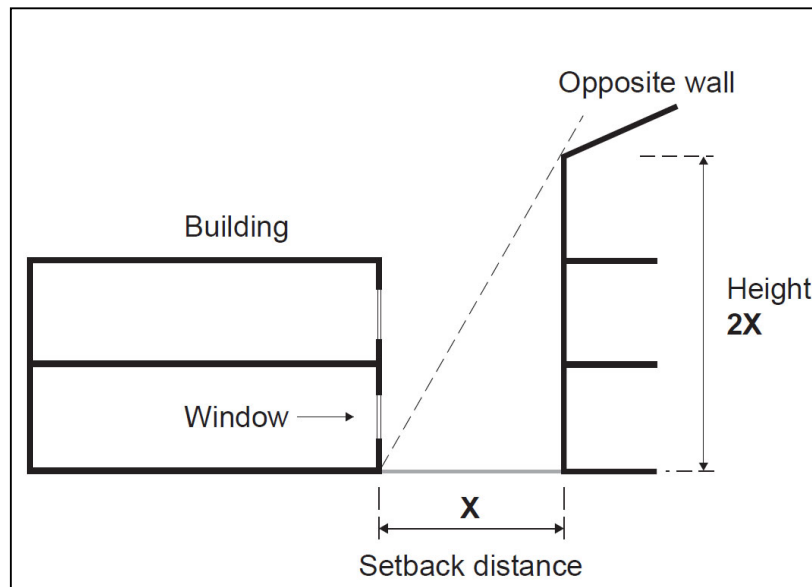
Table H6.6.14.1 Maximum height of that part of a building within a site facing a principal living room or bedroom window within the same site

Distance of the building from the largest principal living room, living/dining room or bedroom window (x)	Maximum height of the defined portion of wall opposite an identified window	Length of wall restricted if 55 degree arc is perpendicular to window (y) (rounded)
1.0m	2.0m	1.0m
1.5m	3.0m	1.5m
2.0m	4.0m	2.0m
2.5m	5.0m	2.5m
2.7m	5.4m	2.7m
3.0m	6.0m	3.0m
3.5m	7.0m	3.5m
4.0m	8.0m	4.0m
4.5m	9.0m	4.5m
5.0m	10.0m	5.0m
5.5m	11.0m	5.5m
6.0m	12.0m	6.0m
7.0m	14.0m	7.0m

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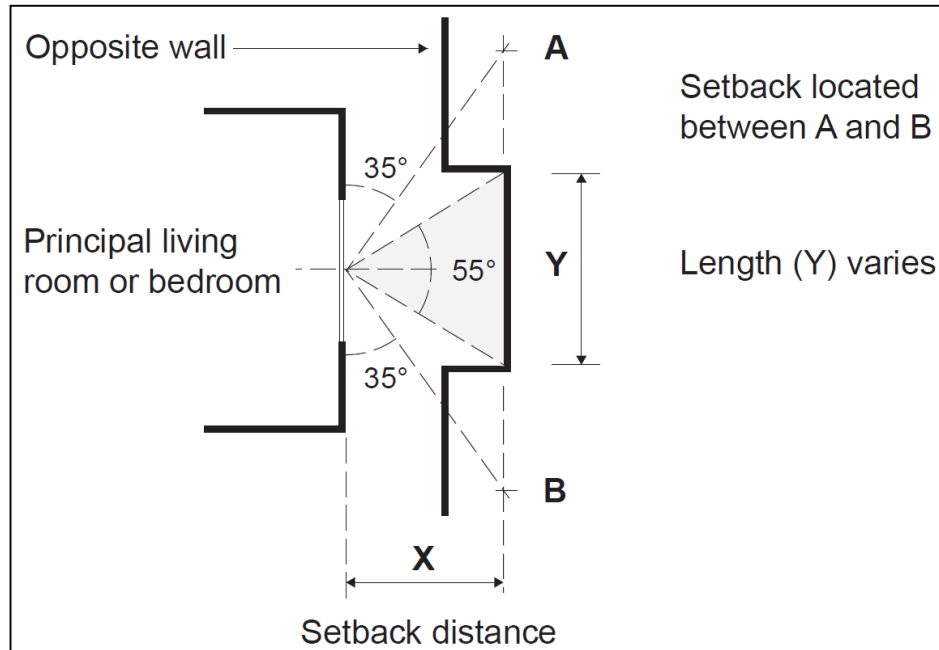
Distance of the building from the largest principal living room, living/dining room or bedroom window (x)	Maximum height of the defined portion of wall opposite an identified window	Length of wall restricted if 55 degree arc is perpendicular to window (y) (rounded)
7.5m	15.0m	7.5m
8.0m	16.0m	8.0m
8.5m	17.0m	8.5m
9.0m	18.0m	9.0m
9.5m	19.0m	9.5m
10.0m	20.0m	10.0m
10.5m	21.0m	10.5m
11.0m	22.0m	11.0m
11.25m	22.5m	11.25m

Figure H6.6.14.1 Required setbacks for daylight



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of the RMA

Figure H6.6.-14.2 Required setbacks for daylight



H6.6.15. Outdoor living space

Purpose: to provide dwellings, supported residential care and boarding houses with outdoor living space that is of a functional size and dimension, has access to sunlight, and is directly accessible from the principal living room, dining room or kitchen and is separated from vehicle access and manoeuvring areas, and ensure:

- private outdoor living spaces are directly accessible from the principal living room, dining room or kitchen;
- for development with 20 or more dwellings communal outdoor living spaces are conveniently accessible for all occupants.

(1) A dwelling, supported residential care or boarding house at ground floor level, must have an private outdoor living space that is at least 20m² that comprises ground floor and/or balcony/roof terrace space that:

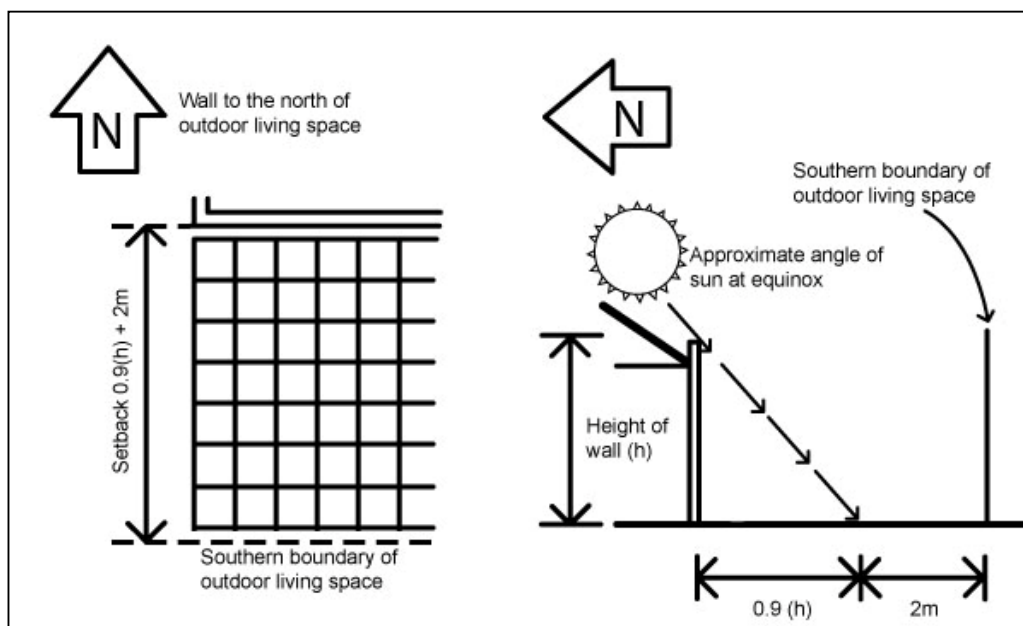
- (a) where located at ground level has no dimension less than 4m and has a gradient not exceeding 1 in 20; and/or
- (b) where provided in the form of balcony, patio or roof terrace is at least 5m² and has a minimum dimension of 1.8m; and
- (c) is directly accessible from the principal living room, dining room or kitchen of a dwelling, supported residential care unit or boarding house; and
- (d) is free of buildings, parking spaces, servicing and manoeuvring areas.

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- (2) A dwelling, supported residential care or boarding house located above ground floor level must have an private outdoor living space in the form of a balcony, patio or roof terrace that:
 - (a) is at least 5m² for studio and one-bedroom dwellings and has a minimum dimension of 1.8m; or
 - (b) is at least 8m² for two or more bedroom dwellings and has a minimum dimension of 1.8m; and
 - (c) is directly accessible from the principal living room, dining room or kitchen of a dwelling, supported residential care unit or boarding house; and
 - (d) except that, a balcony or roof terrace is not required where the net internal floor area of a dwelling is at least 35m² for a studio and 50m² for a dwelling with one or more bedrooms.
- (3) Where private outdoor living space required by Standard H6.6.15(1) or Standard H6.6.15(2) above is provided at ground level, and is located south of any building located on the same site, the southern boundary of that space must be separated from any wall or building by at least 2m + 0.9(h), where (h) is the height of the wall or building as shown in the Figure H6.6.15.1 Location of outdoor living space below. For the purpose of this standard south is defined as between 135 and 225 degrees.
- (4) In addition to H6.6.15(1) and H6.6.15(2) above, developments of 20 or more dwellings, including integrated residential development of 20 or more dwellings, must provide a communal outdoor living space that:
 - (a) is located in a communally accessible location;
 - (b) is at least 10m² for every five dwellings it serves;
 - (c) is a minimum dimension of 4m;
 - (d) free of buildings, parking spaces and servicing and manoeuvring areas;
 - (e) for at least 20m² of the communal living space must receive a minimum of 3 hours of sunlight per day between the hours of 9am – 4pm on 21 June;
 - (f) has a gradient not exceeding 1 in 20; and
 - (g) may be split into no more than two outdoor communal living spaces per development.

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Figure H6.6.15.1 Location of private outdoor living space



Note 1

Emergency responder access requirements are further controlled by the Building Code. Plan users should refer to the Building Code to ensure compliance can be achieved at building consent stage. Granting of a resource consent does not imply that waivers of Building Code requirements will be granted. Fire and Emergency New Zealand publishes guidance in the context of the Building Code requirements.

H6.6.16. Front, side and rear fences and walls

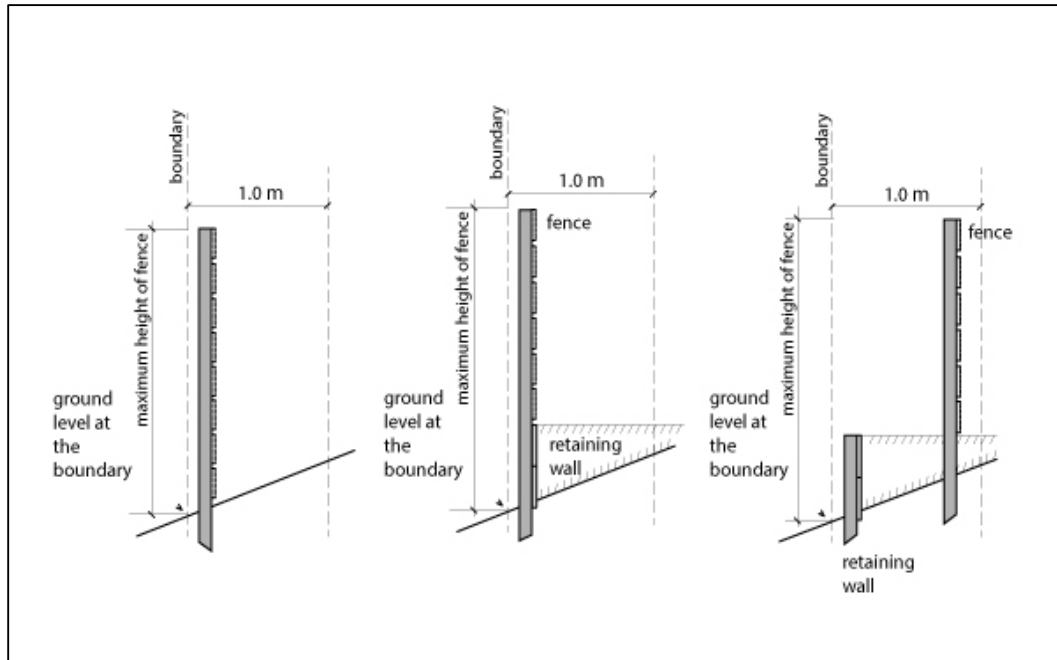
Purpose: to enable fences and walls to be constructed on a Front, side or rear boundary or within a front, side, rear, riparian, coastal protection or lakeside yard to a height sufficient to:

- provide privacy for dwellings while enabling opportunities for passive surveillance of the street or adjoining public place;
 - minimise visual dominance effects to immediate neighbours and the street or adjoining public place.
- (1) Fences or walls or a combination of these structures (whether separate or joined together) must not exceed the height specified below, measured from the ground level at the boundary:
- (a) Within the front yard, either:
- (i) 1.4m in height, or
 - (ii) 1.8m in height for no more than 50 per cent of the site frontage and 1.4m for the remainder, or

(iii) 1.8m in height if the fence is at least 50 per cent visually open as viewed perpendicular to the front boundary.

(b) Within side, rear, coastal protection, lakeside or riparian yards: 2m.

Figure H.6.6.16.1 Measurement of fence height



H6.6.17. Minimum dwelling size

Purpose: to ensure dwellings are functional and of a sufficient size to provide for the day to day needs of residents, based on the number of occupants the dwelling is designed to accommodate.

- (1) Dwellings must have a minimum net internal floor area as follows:
 - (a) 30m² for studio dwellings.
 - (b) 45m² for one or more bedroom dwellings.

H6.6.18. Rainwater tanks

Purpose: To enable rainwater tank installation while maintaining amenity values.

- (1) Rainwater tanks must not be located:
 - (a) in a riparian, lakeside or coastal protection yard unless less than 1m in height or wholly below ground level;
 - (b) in a front yard or forward of any street facing or private vehicle access facing building façade, unless they are at least 1.5m from the front boundary and are a maximum height of 1 m.
- (2) Clause b) shall not apply to a rear service lane where the dwellings have frontage to a public street.

- (3) Rainwater tanks located within a required outlook space area must be no higher than 1m.
- (4) Rainwater tanks located within the required minimum 20m² outdoor living space with minimum dimensions of 4m must be installed wholly underground.
- (5) Any overflow from the rainwater tank must discharge to the existing authorised stormwater system for the site.

Note: If there is a new stormwater discharge or diversion created Chapter E8.6.2.1 and Building Act requirements must be complied with.

Note: Building Act regulations apply. A building consent may be required under the Building Act.

H6.6.19. Windows to street, vehicle access and primary pedestrian access

Purpose: To provide for passive surveillance while maintaining privacy for residents and users.

- (1) Any dwelling facing the street, public open spaces, public pedestrian accessways, cycleways or vehicle access or primary pedestrian access, must have a minimum of 20 per cent of the relevant façade in glazing. This can be in the form of windows or doors.
- (2) For the purposes of H6.6.19(1) above, glazing:
 - (a) may be in the form of windows or doors;
 - (b) may include joinery between and around window panes (excluding window frames); and
 - (c) excludes any roof space enclosed by gable ends.
- (3) For the purposes of H6.6.19(1) above, the relevant façade is that façade less than 45 degrees from the relevant boundary.

H6.6.20. Deep soil area and canopy tree

Purpose: To build resilience to climate change effects through provision of deep soil areas that support canopy trees, which assist in removing carbon, reducing urban heat island effects and enabling the infiltration of stormwater.

- (1) Any site greater than 200m² must provide a deep soil area of a minimum of 10 per cent of the site area and canopy tree(s) that must comply with Table H6.6.20.1 Deep soil area and canopy tree requirements and Table H6.6.20.2 Minimum tree canopy dimensions below:
- (2) Deep soil areas required by H6.6.20(1) may be provided in private and communal outdoor living spaces and landscaped areas.
- (3) Trees required by H6.6.20(1) can be existing canopy trees or new canopy trees in accordance with Table H6.6.20.2 Minimum tree canopy dimensions below.

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Table H6.6.20.1 Deep soil area and canopy tree requirements

<u>Site Area (prior to development or re-development)</u>	<u>Minimum area for each deep soil area</u>	<u>Minimum area dimension</u>	<u>Minimum canopy tree requirements</u>
<u>200m² – 600m²</u>	<u>20m²</u>	<u>2.5m</u>	<u>1 small canopy tree per 200m² of site</u>
<u>601m² – 1,500m²</u>	<u>30m²</u>	<u>3m</u>	<u>1 medium canopy tree per 300m² of site</u>
<u>1,501m² or more</u>	<u>50m²</u>	<u>4m</u>	<u>1 large canopy tree or 2 medium canopy trees per 500m² of site</u>

Table H6.6.20.2 Minimum tree canopy dimensions

<u>Tree size</u>	<u>Minimum mature tree height dimension</u>	<u>Minimum mature canopy diameter dimension</u>	<u>Minimum tree height above ground when planted</u>	<u>Indicative tree planting grade</u>
<u>Small</u>	<u>8m</u>	<u>6m</u>	<u>2m</u>	<u>120L</u>
<u>Medium</u>	<u>10m</u>	<u>8m</u>	<u>2.5m</u>	<u>160L</u>
<u>Large</u>	<u>15m</u>	<u>12m</u>	<u>3m</u>	<u>200L</u>

H6.6.21. Safety and privacy buffer from private vehicle access and primary pedestrian access

Purpose: to provide a reasonable standard of safety and privacy for ground floor dwellings located adjacent to primary pedestrian access or vehicle access while ensuring passive surveillance.

(1) A minimum 1m buffer area must be provided between a dwelling and private vehicle access and/or primary pedestrian access to another dwelling.

(2) The buffer area may contain:

(a) cantilevers such as awnings over front doors, footpaths to front doors, and vehicle crossings to garages; and

(b) waste storage areas and heat pump or air conditioning external units.

Qualifying matter as
per Sch 3C, cls 8(1)(b)
of the RMA

(3) The buffer area must be:

- (a) free of buildings, parking spaces, servicing and manoeuvring areas; and
- (b) planted with shrubs and/or ground cover plants that will grow to no less than 400mm in height.

(4) Where the buffer area is combined with areas subject to clear width / height requirements under Standard E27.6.6.(4):

- (a) Standard H6.6.21(2) above does not apply;
- (b) Any planting required by H6.6.21(3)(b) must comprise soft/frangible shrubs and/or ground cover plants that will grow to no less than 400mm and no more than 600mm in height; and
- (c) The buffer area must comply with all the requirements in Standard E27.6.6(4).

H6.6.22. Residential waste management

Purpose: To provide accessible storage and collection space for waste bins for four or more dwellings and integrated residential developments.

(1) On-site waste storage using individual or communal waste bins must be provided as follows:

- (a) Where individual bins are used, a total storage space of 1.4m² per dwelling.
- (b) Where communal bins are used, the total storage space provided must be calculated in accordance with the Auckland Council's Solid Waste Calculator.
- (c) The location of bins must be visually screened from within the site, from the street and/or adjacent sites.

(2) Where kerbside collection is used, there must be kerbside space of at least 1m width per dwelling, contained within the road frontage of the site without impeding the public footpath.

(3) Ten or more dwellings must provide a waste management and minimisation plan.

(4) Where on-site collection of individual waste bins is used, there must be a space of at least 1m² per dwelling.

Qualifying matter as
per Sch 3C, cls 8(1)(b)
of the RMA

H6.6.23. Development within the Infrastructure – Combined Wastewater Network Control

Purpose: to restrict development in any area served by a combined wastewater network where public sewer separation has not occurred, while enabling new

Qualifying matter as
per Sch 3C, cls 8(1)(b)
of the RMA

development where separation is in progress and the new development can connect to a separated local stormwater pipe that is part of the public stormwater network.

- (1) Development on a site served by the combined wastewater network must be able to connect to an existing separated local stormwater pipe that is part of the public stormwater network; and
- (2) The wastewater network service provider has confirmed that there is sufficient capacity available in the combined wastewater network to service the proposed development.

H6.7. Assessment – controlled activities

There are no controlled activities in this zone.

H6.8. Assessment – restricted discretionary activities

H6.8.1. Matters of discretion

The Council will restrict its discretion to all of the following matters when assessing a restricted discretionary activity resource consent application:

(A1) For all restricted discretionary activities:

(a) The effects on the local transport network and on safe and convenient movement by pedestrians, public transport users and cyclists.

- (1) for supported residential care accommodating greater than 10 people per site inclusive of staff and residents; boarding houses accommodating greater than 10 people per site inclusive of staff and residents; visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors; dairies more than 200m² up to 400m² gross floor area per site; restaurants and cafes more than 200m² up to 400m² gross floor area per site; care centres accommodating greater than 10 people per site excluding staff; and community facilities; and healthcare facilities up to 200m² gross floor area per site:

(a) infrastructure and servicing;

(b) the effects on the neighbourhood character, residential amenity and the surrounding residential area from all of the following:

(i) building intensity, scale, location, form and appearance;

(ii) traffic;

(iii) location and design ~~of parking~~ and access and parking (if provided); and

(iv) noise, lighting and hours of operation.

(2) for dwellings and integrated residential developments:

(a) the effects on the neighbourhood character, residential amenity, safety and the surrounding residential area from all of the following:

(i) ~~building intensity, scale, form and appearance and~~ location;

A. the way in which buildings are orientated to the public streets, public open spaces, public pedestrian accessways, cycleways, private vehicle and pedestrian accessways and adjoining sites; and

B. the extent to which the height, bulk, setback, roof form and design of buildings respond to the local streetscape and the planned urban built character of the surrounding area.

(ia) building form and appearance including:

A. use of built elements such as materials, surface and architectural detailing and roof design to create visual interest;

B. use of deep soil and/or outdoor living areas, modulation, architectural features, windows, doors and breaks in building length to minimise bulk and visual dominance;

C. whether design provides for the balance between a reasonable standard of privacy and opportunities for passive surveillance of public streets, public open spaces, cycleways and private vehicle access and pedestrian access;

D. whether the design provides for privacy, and sunlight and daylight access for adjoining sites; and

E. the interface with an identified special character area or a scheduled historic heritage place.

(ib) the extent to which the functional, day to day needs, and health and safety of residents are provided for in terms of:

A. the size and dimensions of living areas relative to the likely occupancy levels of the dwellings;

B. internal storage;

C. residential waste management, including the kerbside and/or on-site capacity and accessibility for residential waste management; and

D. natural cross ventilation and minimises overheating within dwellings.

(ii) traffic; and

(iii) location and design of ~~parking and~~ access (including pedestrian access) and parking (if provided).

(b) ~~[deleted] all of the following standards:~~

~~(i) Standard 0.6.9 Maximum impervious areas;~~

~~(ii) Standard 0.6.10 Building coverage;~~

- ~~(iii) Standard 0.6.11 Landscaped area;~~
- ~~(iv) Standard 0.6.12 Outlook space;~~
- ~~(v) Standard 0.6.13 Daylight;~~
- ~~(vi) Standard 0.6.14 Outdoor living space;~~
- ~~(vii) Standard 0.6.15 Front, side and rear fences and walls; and~~
- ~~(viii) Standard H5.6.16 Minimum dwelling size~~

(c) the effects on infrastructure and servicing including:

- (i) Existing infrastructure capacity.

(d) the provision of effective and efficient emergency responder servicing.

(e) adequacy of emergency responder access.

(f) the integration of commercial activities in a residential development including:

- (i) the compatibility of:

A. the intensity and scale of the development arising from the numbers of people and/or vehicles using the site; and

B. the operation of the activity; on the existing and expected future amenity values of the surrounding area and any practicable mitigation measures that would be appropriate to manage those effects;

- (ii) the design and location of parking areas and vehicle access and servicing arrangements on visual amenity of the streetscape and on pedestrian safety;

- (iii) the location, design and management of storage and servicing facilities on the amenity values of nearby residential properties including potential visual effects, adequacy of access for service vehicles (including waste collection) and any night time noise effects; and

- (iv) the assessment of the above matters having regard to the need to provide for the functional requirements of the activity.

(3) ~~[Deleted] for integrated residential development:~~

~~(a) the effects on the neighbourhood character, residential amenity, safety, and the surrounding residential area from all of the following:~~

- ~~(i) building intensity, scale, location, form and appearance traffic;~~
- ~~(ii) location and design of parking and access and~~
- ~~(iii) noise, lighting and hours of operation.~~

~~(b) all of the following standards:~~

- ~~(i) Standard 0.6.9 Maximum impervious areas;~~
 - ~~(ii) Standard 0.6.10 Building coverage;~~
 - ~~(iii) Standard 0.6.11 Landscaped area;~~
 - ~~(iv) Standard 0.6.12 Outlook space;~~
 - ~~(v) Standard 0.6.13 Daylight;~~
 - ~~(vi) Standard 0.6.14 Outdoor living space;~~
 - ~~(vii) Standard 0.6.15 Front, side and rear fences and walls; and~~
 - ~~(viii) Standard H5.6.16 Minimum dwelling size.~~
 - ~~(d) Infrastructure and servicing.~~
- (4) for buildings that do not comply with the relevant Standard(s) specified in Table H6.4.1 [Deleted] ~~H6.6.5 Building height; Standard H6.6.6 Height in relation to boundary; Standard H6.6.7 Alternative height in relation to boundary; Standard H6.6.8 Height in relation to boundary adjoining lower density zones; Standard H6.6.9 Yards; Standard H6.6.10 Maximum impervious areas; Standard H6.6.11 Building coverage; Standard H6.6.12 Landscaped area; Standard H6.6.13 Outlook space; Standard H6.6.14 Daylight; Standard H6.6.15 Outdoor living space; Standard H6.6.16 Front, side and rear fences and walls; Standard H6.6.17 Minimum dwelling size:~~
- (a) any policy which is relevant to the standard;
 - (b) the purpose of the standard;
 - (c) the effects of the infringement of the standard;
 - (d) the effects on the planned urban built character of the zone;
 - (e) the effects on the amenity of neighbouring sites;
 - (f) the effects of any special or unusual characteristic of the site which is relevant to the standard;
 - (g) the characteristics of the development;
 - (h) any other matters specifically listed for the standard; and
 - (i) where more than one standard will be infringed, the effects of all infringements.
- (5) ~~[Deleted] For new buildings and additions to buildings which do not comply with H6.6.6 Height in relation to boundary but comply with H6.6.7 Alternative height in relation to boundary:~~
- ~~(a) Visual dominance effects;~~
 - ~~(b) Attractiveness and safety of the street; and~~

~~(e) Overlooking and privacy.~~

(6) for development in areas identified on the planning maps as being subject to the Infrastructure – Combined Wastewater Network Control that does not comply with Standard H6.6.23:

(a) the effect of the development on the function and capacity of the Combined Wastewater Network; and

(b) the effect on the environment from the lack of available capacity.

H6.8.2. Assessment criteria

The Council will consider the relevant assessment criteria below for restricted discretionary activities:

(A1) For all restricted discretionary activities:

(a) the extent to which the development manages effects on the safe access and walkability on the immediate urban road environment and to public transport.

(1) for supported residential care accommodating greater than 10 people per site inclusive of staff and residents; boarding houses accommodating greater than 10 people per site inclusive of staff and residents; visitor accommodation accommodating greater than 10 people per site inclusive of staff and visitors; dairies more than 200m² up to 400m² gross floor area per site; restaurants and cafes more than 200m² up to 400m² gross floor area per site; care centres accommodating greater than 10 people per site excluding staff; and community facilities; and healthcare facilities up to 200m² gross floor area per site;

(a) infrastructure and servicing:

(i) whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development, including adequate water for firefighting and this is confirmed by the service provider;

(ii) where adequate network capacity is not available, whether adequate mitigation is proposed.

(b) building intensity, scale, location, form and appearance:

(i) whether the intensity and scale of the activity, the building location, form and appearance is compatible with the character and residential amenity provided for within the zone and compatible with the surrounding residential area.

(c) traffic:

(i) whether the activity avoids or mitigates high levels of additional non-residential traffic on local roads.

- (d) location and design of parking and access (including pedestrian and emergency responder access) and parking (if provided):
- (i) whether adequate access is provided or required, including functional access for emergency responders;
 - (ii) whether carparking and accessways are integrated into the overall design of development;
 - (iii) whether parking is located away from street frontages and screened from the street by buildings or landscaping; and
 - (iv) whether safe, well-lit pedestrian access is provided and integrated into the design of development.
- (e) noise, lighting and hours of operation:
- (i) whether noise and lighting and the hours of operation of the activity avoids, remedies or mitigates adverse effects on the residential amenity of surrounding properties, by:
 - locating noisy activities away from neighbouring residential boundaries; and
 - screening or other design features; and
 - controlling the hours of operation and operational measures.

(2) for dwellings and integrated residential developments:

- (a) the extent to which ~~or whether~~ the development achieves the purpose outlined in the ~~following~~ relevant standards identified in Table H6.4.1 or what alternatives are provided that result in the same or a better outcome:
- (i) ~~[Deleted] Standard H6.6.10 Maximum impervious areas;~~
 - (ii) ~~[Deleted] Standard H6.6.11 Building coverage;~~
 - (iii) ~~[Deleted] Standard H6.6.12 Landscaped area;~~
 - (iv) ~~[Deleted] Standard H6.6.13 Outlook space;~~
 - (v) ~~[Deleted] Standard H6.6.14 Daylight;~~
 - (vi) ~~[Deleted] Standard H6.6.15 Outdoor living space; and~~
 - (vii) ~~[Deleted] Standard H6.6.16 Front, side and rear fences and walls; and~~
 - (viii) ~~[Deleted] Standard H6.6.17 Minimum dwelling size~~
- (aa) the extent to which the scale of the activity, the building location, form and appearance is of a high quality and compatible with the planned urban built character and residential amenity of the surrounding residential area provided for within the zone.

(ab) the extent to which buildings are designed to manage building length and bulk and visual dominance by:

- (i) placing taller buildings on the street front;
- (ii) varying roof form and building height;
- (iii) using modulation and architectural features to break up the mass of buildings into visually distinct elements;
- (iv) using the proportions and arrangement of windows and doors to provide relief to building length and bulk;
- (v) using other building elements including materials, surface detailing, architectural detail and roof design to provide visual interest along building facades including blank side/party walls;
- (vi) providing adequate breaks in long continuous buildings to minimise the appearance of length;
- (vii) locating deep soil areas and/or communal outdoor spaces around and between buildings to provide space and soften the built form;
and
- (viii) designing balconies as an integral part of the building.

(ac) the extent to which buildings adjoining or across the street from an identified special character area or a scheduled historic heritage place are designed to respect the prevailing character of the area or key historic heritage design and location elements of that place. New and contemporary interpretations in form and detail may be used.

(ad) the extent to which building facades contribute positively to the visual amenity and safety of public streets, public open spaces, and private vehicle and pedestrian accessways by:

- (i) having clearly defined fronts that provide passive surveillance from windows and balconies;
- (ii) maximising doors, windows and balconies over all levels on the front façades whilst not impacting on the privacy of residents on adjoining sites;
- (iii) maximising the number of dwellings on the site that directly front, align and orientate to public streets;
- (iv) ground level dwellings closest to the street each have direct and clearly defined pedestrian access from the street in preference to a single building entrance;
- (v) optimise landscaping in the front dwellings;
- (vi) minimise the visual dominance of garage doors; and
- (vii) where a site adjoins public open space, buildings include entrances, windows of habitable rooms and balconies facing the open space.

(ae) the extent to which site layout creates legible, visible attractive, safe and well-lit connections between dwellings and the street.

(b) refer to Policy H6.3(1);

(c) refer to Policy H6.3(2);

(d) refer to Policy H6.3(3);

(da) refer to Policy H6.3(3A);

(db) refer to Policy H6.3(3B);

(dc) refer to Policy H6.3(3C);

(e) refer to Policy H6.3(4);

(f) ~~[deleted]~~ refer to Policy H6.3(5);

(fa) refer to Policy H6.3(5A);

(g) ~~refer to Policy H6.3(6);~~

(h) ~~refer to Policy H6.3(7); and~~

(i) ~~refer to Policy H6.3(8).~~

(ia) refer to Policy H6.3(A9);

(ib) refer to Policy H6.3(B9); and

(ic) refer to Policy H6.3(10);

(j) infrastructure and servicing:

(i) whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development including adequate water for firefighting and this is confirmed by the service provider;

(ii) where adequate network capacity is not available, whether adequate mitigation is proposed.

(k) ~~[Deleted] the extent to which the necessary storage and waste collection and recycling facilities is provided in locations conveniently accessible and screened from streets and public open spaces.~~

(l) traffic

(i) the extent to which the activity avoids or mitigates adverse effects on the safe and efficient operation of the immediate transport network.

- (ii) H6.8.2 (2)(l)(i) is not considered where the development is located adjacent to a Business – City Centre Zone, Business – Metropolitan Centre Zone or Business – Town Centre Zone.

(m) the extent to which dwellings:

- (i) orientate and locate windows to optimise privacy within the dwelling and reduce overlooking of dwellings and their outdoor living space in the same or an adjoining site;
- (ii) are designed to reduce overheating through window size and orientation, natural cross ventilation, and external design elements to provide shading;
- (iii) optimise sunlight and daylight access based on orientation, function, window design and location, and depth of the dwelling floor space;
- (iv) provide practical, functional and sufficient space for internal storage and living areas for the number and type of occupants the dwelling is designed to accommodate; and
- (v) provide the necessary storage and waste collection and recycling facilities in locations conveniently accessible and screened from streets and public open spaces.

(n) the safety and functionality of emergency responder access.

(o) the extent to which development:

- (i) integrates commercial activities in a residential development; and
- (ii) Policy H6.3(9).

~~(3) [Deleted] for integrated residential development:~~

- ~~(a) the extent to which or whether the development achieves the purpose outlined in the following standards or what alternatives are provided that result in the same or a better outcome:~~

- ~~(i) Standard H6.6.10 Maximum impervious areas;~~
- ~~(ii) Standard H6.6.11 Building coverage;~~
- ~~(iii) Standard H6.6.12 Landscaped area;~~
- ~~(iv) Standard H6.6.13 Outlook space;~~
- ~~(v) Standard H6.6.14 Daylight;~~
- ~~(vi) Standard H6.6.15 Outdoor living space;~~
- ~~(vii) Standard H6.6.16 Front, side and rear fences and walls; and~~
- ~~(viii) Standard H6.6.17 Minimum dwelling size (excluding retirement villages).~~

- ~~(b) refer to Policy H6.3(1);~~

~~(c) refer to Policy H6.3(2);~~

~~(d) refer to Policy H6.3(3);~~

~~(e) refer to Policy H6.3(4);~~

~~(f) refer to Policy H6.3(5);~~

~~(g) refer to Policy H6.3(6);~~

~~(h) refer to Policy H6.3(7);~~

~~(i) refer to Policy H6.3(8); and~~

~~(j) infrastructure and servicing:~~

~~(i) Whether there is adequate capacity in the existing stormwater and public reticulated water supply and wastewater network to service the proposed development.~~

~~(ii) Where adequate network capacity is not available, whether adequate mitigation is proposed.~~

~~(k) traffic:~~

~~(i) the extent to which the activity avoids or mitigates adverse effects on the safe and efficient operation of the immediate transport network.~~

~~(ii) H6.8.2 (3)(k)(i) is not considered where the development is located adjacent to a Business—City Centre Zone, Business—Metropolitan Centre Zone or Business—Town Centre Zone.~~

- (4) ~~[Deleted] For new buildings and additions to buildings which do not comply with H6.6.6 Height in relation to boundary but comply with H6.6.7 Alternative height in relation to boundary:~~

Visual dominance

~~(a) The extent to which buildings as viewed from the side or rear boundaries of adjoining residential sites or developments are designed to reduce visual dominance effects, taking into account:~~

~~(i) — the planned urban built character of the zone;~~

~~(ii) — the location, orientation and design of development; and~~

~~(iii) — the physical characteristics of the site and the neighbouring site.~~

Attractiveness and safety of the street

~~(b) The extent to which those parts of buildings located closest to the front boundary achieve attractive and safe streets by:~~

~~(i) — providing doors, windows and balconies facing the street;~~

~~(ii) — optimising front yard landscaping;~~

- ~~(iii) providing safe pedestrian access to buildings from the street; and~~
- ~~(iv) minimising the visual dominance of garage doors as viewed from the street.~~

Overlooking and privacy

- ~~(c) The extent to which direct overlooking of a neighbour's habitable room windows and outdoor living space is minimised to maintain a reasonable standard of privacy, including through the design and location of habitable room windows, balconies or terraces, setbacks, or screening.~~

(5) for building height infringements:

- (a) refer to Policy H6.3(1);
- (b) refer to Policy H6.3(2);
- (ba) refer to Policy H6.3(3A);
- (bb) refer to Policy H6.3(3B);
- (bc) refer to Policy H6.3(3C);
- (c) refer to Policy H6.3(4); ~~and~~
- (ca) refer to Policy H6.3(4A); and
- (d) ~~[deleted] refer to Policy H6.3(5).~~
- (e) refer to Policy H6.3(A9).

Visual dominance

- (f) The extent to which buildings as viewed from the street or public places are designed to minimise visual dominance effects of any additional height, taking into account:
 - (i) the planned urban built character of the zone;
 - (ii) the location, orientation and design of development; and
 - (iii) the effect of the proposed height on the surrounding and neighbouring development.

Character and Visual Amenity

- (g) The extent to which the form and design of the building and any additional height responds to the planned form and existing character of the surrounding area, including natural landforms and features, and the coast;
- (h) how buildings as viewed from the street or public places are designed to appear against the skyline, taking into account:
 - (i) whether roof plant, services and equipment are hidden from views; and

(ii) whether the expression of the top of the building provides visual interest and variation.

(6) for height in relation to boundary infringements:

- (a) refer to Policy H6.3(1);
- (b) refer to Policy H6.3(2);
- (ba) refer to Policy H6.3(3A);
- (bb) refer to Policy H6.3(3B);
- (bc) refer to Policy H6.3(3C);
- (c) refer to Policy H6.3(4);
- (ca) refer to Policy H6.3(4A);
- (d) ~~[deleted] refer to Policy H6.3(5);~~ and
- (e) ~~[deleted] refer to Policy H6.3(6).~~
- (f) refer to Policy H6.3(A9).

Visual dominance

(g) The extent to which buildings as viewed from the side or rear boundaries of adjoining residential sites or developments are designed to reduce visual dominance effects, taking into account:

- (i) the planned urban built character of the zone;
- (ii) the location, orientation and design of development; and
- (iii) the physical characteristics of the site and the neighbouring site.
- (iv) the design of side and rear walls, including appearance and dominance; and
- (v) providing adequate visual and/or physical break up of long continuous building forms.

Overlooking and privacy

(h) The extent to which direct overlooking of a neighbour's habitable room windows and outdoor living space is minimised to maintain a reasonable standard of privacy, including through the design and location of habitable room windows, balconies or terraces, setbacks, or screening.

(7) ~~[Deleted] for alternative height in relation to boundary:~~

- ~~(a) refer to Policy H6.3(1);~~
- ~~(b) refer to Policy H6.3(2);~~
- ~~(c) refer to Policy H6.3(3);~~

~~(d) refer to Policy H6.3(4);~~

~~(e) refer to Policy H6.3(5); and~~

~~(f) refer to Policy H6.3(6).~~

(8) for height in relation to boundary adjoining lower density zones infringements:

(a) refer to Policy H6.3(1);

(b) refer to Policy H6.3(2);

(ba) refer to Policy H6.3(3A);

(bb) refer to Policy H6.3(3B);

(bc) refer to Policy H6.3(3C);

(c) refer to Policy H6.3(4);

(ca) refer to Policy H6.3(4A);

(d) ~~[deleted] refer to Policy H6.3(5); and~~

(e) ~~[deleted] refer to Policy H6.3(6).~~

(f) refer to Policy H6.3(A9).

(8A) for setback at upper floors infringements:

(a) refer to Policy H6.3(2);

(b) refer to Policy H6.3(A9); and

(c) the extent to which buildings are designed to create a human scaled street, have adequate separation between buildings at upper floors, and ensure adequate sunlight and daylight access to streets, public spaces and nearby sites in lower intensity zones;

(8B) for maximum tower dimension infringements:

(a) refer to Policy H6.3(2);

(b) refer to Policy H6.3(A9); and

(c) the extent to which sunlight and outlook is provided to those parts of buildings above 22m;

(d) the extent to which buildings are designed and adequate separation between buildings is provided to minimise significant visual dominance effects at the street level and to allow daylight and sunlight into buildings and sky views to filter down to streets and public places;

(e) the extent to which buildings are designed to avoid excessive wind velocity or turbulence in outdoor pedestrian spaces.

(9) for yards infringements:

(a) refer to Policy H6.3(1);

(b) refer to Policy H6.3(2);

(c) refer to Policy H6.3(4); and

(d) [deleted] refer to Policy H6.3(5).

(e) refer to Policy H6.3(A9); and

(f) the extent to which buildings are designed to achieve a high level of street amenity with passive surveillance and a human scaled street edge and to limit the adverse effects of building height and bulk on rear parts of adjoining sites;

(10) for maximum impervious areas infringements:

(a) [deleted] refer to Policy H6.3(8).

(b) refer to Policy H6.3(A9).

(11) for building coverage infringements:

(a) refer to Policy H6.3(1);

(b) refer to Policy H6.3(2);

(c) refer to Policy H6.3(4);

(d) [deleted] refer to Policy H6.3(5); and

(e) [deleted] refer to Policy H6.3(6).

(f) refer to Policy H6.3(A9); and

(g) whether the non-compliance is appropriate to the context taking into account:

(i) whether the balance of private open space and buildings is consistent with the existing and planned urban character anticipated for the zone;

(ii) the degree to which the balance of private open space and buildings reduces onsite amenity for residents, including the useability of outdoor living areas and functionality of landscape areas;

(iii) the proportion of the building scale in relation to the proportion of the site.

(12) for landscaped area infringements:

- (a) refer to Policy H6.3(1);
- (b) refer to Policy H6.3(2);
- (c) refer to Policy H6.3(4); and
- (d) ~~[deleted] refer to Policy H6.3(5).~~
- (e) refer to Policy H6.3(A9); and
- (f) the extent to which existing trees are retained.

(13) for outlook space infringements:

- (a) refer to Policy H6.3(1);
- (b) refer to Policy H6.3(2);
- (c) refer to Policy H6.3(4);
- (d) ~~[deleted] refer to Policy H6.3(5); and~~
- (e) ~~[deleted] refer to Policy H6.3(6).~~
- (f) refer to Policy H6.3(A9); and
- (g) the extent to which overlooking of a neighbour's habitable room windows and private and/or communal outdoor living space can be minimised through the location and design of habitable room windows, balconies or terraces and the appropriate use of building and glazing setbacks and/or screening which is integrated part of the overall building design.

(14) for daylight infringements:

- (a) refer to Policy H6.3(2);
- (b) refer to Policy H6.3(4);
- (c) ~~[deleted] refer to Policy H6.3(5); and~~
- (d) ~~[deleted] refer to Policy H6.3(6).~~
- (e) refer to Policy H6.3(A9).

(15) for outdoor living space infringements:

- (a) refer to Policy H6.3(1);
- (b) refer to Policy H6.3(2);
- (c) ~~[deleted] refer to Policy H6.3(5);~~
- (d) ~~[deleted] refer to Policy H6.3(6); and~~
- (e) ~~[deleted] refer to Policy H6.3(7).~~

(f) the extent to which dwellings provide private open space and communal open space that is useable, accessible from each dwelling and an inviting space for which encourages occupants to spend time there; and

(g) where private outdoor living space requirements cannot be met, the extent to which residential developments provide communal outdoor living space that:

(i) is located in a communally accessible location;

(ii) is of a size and shape that is comparable or better than the area of the infringement;

(iii) is free from buildings, parking spaces, servicing and manoeuvring areas;

(iv) is located to optimise sunlight and daylight access; and

(v) may be split into locations within a development that achieves sufficient size and shape and is accessible for residents.

(15A) for windows to street and private vehicle and primary pedestrian accessways infringements:

(a) refer to Policy H5.3(A9); and

(b) the extent to which the glazing:

(i) allows views to the street and/or accessways to ensure passive surveillance; and

(ii) provides a good standard of privacy for occupants.

(16) For front, side and rear fences and walls infringements:

(a) ~~[deleted]~~ refer to Policy H6.3(2);

(b) ~~[deleted]~~ refer to Policy H6.3(3);

(c) ~~[deleted]~~ refer to Policy H6.3(5); and

(d) ~~[deleted]~~ refer to Policy H6.3(6).

(e) refer to Policy H6.3(A9).

(17) For minimum dwelling size infringements:

(a) ~~[deleted]~~ Policy H6.3(6)

(b) refer to Policy H6.3(A9);

(c) refer to Policy H6.3(10); and

(d) the extent to which each dwelling is designed to:

- (i) provide simple and convenient internal access and circulation
- (ii) include adequate storage; and
- (iii) be large enough to allow the use of typical furnishings that meet the needs of the intended occupants.

(18) for deep soil area and canopy tree infringements:

- (a) refer to Policy H5.3(A9); and
- (b) the extent to which the proposed deep soil area uses or adds to existing deep soil areas to support canopy trees.

(19) for safety and privacy buffer from private vehicle access and primary pedestrian access and vehicle access:

- (a) refer to Policy 0.3(A9); and
- (b) the extent to which the buffer is:
 - (i) free of buildings, parking spaces, structures, servicing facilities and manoeuvring areas;
 - (ii) planted with suitable and low level plants.

(20) For residential waste management infringements:

- (a) refer to Policy H5.3(A9);
- (b) refer to Policy H5.3(10);
- (c) the extent to which sufficient space is provided for residential waste management including areas for storage and collection;
- (d) whether storage areas are suitably located for ease of movement to collection points;
- (e) the extent to which waste management storage areas are designed to minimise visibility from within the site, from the street and/or adjacent sites;
- (f) where kerbside collection cannot meet the minimum 1m width, the extent to which the waste collection activity avoids adverse effects on the safe and efficient operation of the transport network;
- (g) how the development intends to ensure the on-going management and maintenance of any communal residential waste management area; and
- (h) whether waste storage areas are located outside windows or doors to bedrooms, living areas and outdoor living areas to avoid effects of odour and noise; and

(i) whether waste management vehicle can safely undertake collection.

(21) for development within the Infrastructure – Combined Wastewater Network Control that does not comply with Standard H6.6.23:

(a) whether servicing the development will have an adverse effect on the function and available capacity of the Combined Wastewater Network that the development will connect to; and

(b) whether servicing the development will have an adverse effect on the environment, such as the potential increase in frequency and volume of any wastewater overflows.

H6.9. Special information requirements

There are no special information requirements in this zone.

Landscape Plans as required by H6.6.12 Landscape area

(1) A scaled landscape plan must be provided that contains landscaped areas and includes:

(a) plant and tree species, number of each species to be planted and planting grades;

(b) canopy of existing trees to be retained;

(c) any area of grass; and

(d) any paths included in landscaped area.

Deep Soil Area and Canopy Tree

(2) The deep soil area provided must be demonstrated on a scaled landscape plan that at a minimum identifies the following:

(a) plant and tree species, number of each species to be planted and planting grades;

(b) location of existing trees to be retained;

(c) dimensions of individual mature tree canopy;

(d) any areas of grass; and

(e) minimum tree canopy dimensions are specified in Table H5.9(3) below.

Table H5.9(3) Minimum tree canopy dimensions

<u>Tree Size</u>	<u>Minimum mature tree height</u>	<u>Minimum mature canopy diameter</u>	<u>Minimum tree height above ground when planted</u>	<u>Indicative tree planting grade</u>
<u>Small</u>	<u>8m</u>	<u>6m</u>	<u>2m</u>	<u>120L</u>
<u>Medium</u>	<u>10m</u>	<u>8m</u>	<u>2.5m</u>	<u>160L</u>
<u>Large</u>	<u>15m</u>	<u>12m</u>	<u>3m</u>	<u>200L</u>

Residential waste management

(3) Applications for where communal bins are proposed, must include calculations for required storage space as determined using the Auckland Council's Solid Waste Calculator (Standard H5.6.21(1)(b)).

(4) When preparing the waste management and minimisation plan, applicants should refer to the Waste Management and Minimisation Bylaw 2019. The following information must be provided:

(a) the frequency and location, of waste collection or transportation; and

(b) where communal bins are provided for collection, the method of waste segregation that will enable residents to separate dry recycling (glass, paper, plastic etc), food scraps and refuse from their designated bins into the appropriate communal bin for that waste type.